

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

FEBRUARY 27, 2024 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2024-003 (ANGELICA GUEVARA)**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail, and take any action necessary.

(2) **SP2024-004 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

(3) **SP2024-005 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 23, 2024 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-003
PROJECT NAME: Site Plan for 196 & 216 Ranch Trail
SITE ADDRESS/LOCATIONS: 196 & 216 Ranch Trail

CASE CAPTION: Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail, and take any action necessary.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|------------------|----------------|----------------------|
| PLANNING | Angelica Guevara | 02/23/2024 | Approved w/ Comments |

02/23/2024: SP2024-003: Site Plan for Two (2) Metal Buildings at 196 & 216 Ranch Trail
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (SP2024-003) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide a corrected signature block as shown below with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Site Plan

- (1) Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (2) Indicate the distance between all existing and planned buildings on site. (Subsection 03.04. B, of Article 11, UDC)
- (3) Provide dumpster enclosure elevations; the dumpster enclosure gate must be self-latching. (Subsection 01.05. B, of Article 05, UDC)

- (4) Check dumpster location with Republic for ease of access.
- (5) Indicate any ground mounted HVAC units on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05, UDC)
- (6) Please provide an elevation of the proposed dumpster enclosure. Per the Unified Development Code (UDC) this enclosure shall be finished in the same materials as the primary structure, shall have a self-latching gate, and shall be a minimum of six (6) feet in height. (Subsection 01.05. B, of Article 05, UDC)
- (7) The dumpster enclosure cannot be located within any building setbacks. Please change the location on the site plan.
- (8) Please indicate any type and location of existing or proposed fences. (Subsection 08.02 F, of Article 05, UDC)
- (9) Please provide a note that there will be no outside storage.
- (10) Please change lot number on all pages from "Lot 5" to "Lot 7".
- (11) The building located adjacent to the northern property line is currently setback 9.95-feet, but is required to be a minimum of ten (10) feet from the property line. Please change this to be in conformance with the setback requirements contained in Article 05, District Development Standards, of the UDC.
- (12) What is the block pattern in the driveway at the front? It appears to block the proposed parallel parking.

M.6 Building Elevations:

- (1) According to Subsection 04.01 (A)(1) of Article 05, District Development Standards, of the Unified Development Code (UDC), "all structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system..." In this case, the proposed roof pitches on both buildings is 2:12. This will be an exception.
- (2) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary and secondary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- (3) Provide building elevations for the dumpster enclosure. Dumpster enclosures shall be finished in the same materials as the primary structure, shall have a self-latching gate, and shall be a minimum of six (6) feet in height. (Subsection 01.05. B, of Article 05, UDC)

M.7 Landscape Plan

- (1) According to Subsection 05.01(B) of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), a ten (10) foot landscape buffer with built-up berm, ground cover, and shrubbery is required adjacent to Ranch Trail. In addition, this landscape buffer requires a minimum of one (1) canopy tree and one (1) accent tree per 50-linear feet. In this case, you will need eight (8) canopy trees and eight (8) accent trees along Ranch Trail.
- (2) Provide a note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08, UDC) There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08, UDC). In this case, you will need three (3) canopy trees and two (2) accent trees along the detention area.
- (3) Please identify all required landscape buffers AND BERMS on the Landscape Plan.
- (4) Please note that all retaining walls shall be finished in rock or stone.
- (5) Indicate screening of HVAC units on this plan. This will be required for proposed and existing units.
- (6) Please note that vitex castus is not an approved shrub or accent tree. Please replace this with a recommended shrub or accent tree from our list as shown in Appendix C, Landscaping Guidelines and Requirements, of the UDC.
- (7) Please provide headlight screening adjacent to the parking spaces along the northern and southern property lines.
- (8) Please provide additional screening for the loading docks for all buildings. This is being required in accordance with Subsection 02.01, Applicability, of Article 08, Landscape and Fence Standards, of the UDC.

M.8 Photometric Plan

- (1) According to Subsection 03.03(C) of Article 07, Environmental Performance, of the Unified Development Code (UDC) the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. Please note that the current plans exceed this adjacent to all property lines. Please correct this issue.
- (2) Please provide cut sheets/specification sheets for ALL proposed light fixtures.
- (3) Please indicate the pole height of any proposed light poles.

M.9 Staff has identified the following exceptions based on the plans that were submitted: [1] Roof Design Standards, [2] Primary Building Articulation, and [3] Secondary Building Articulation; however, if corrections are not made as stated above additional exceptions may be required. Some of these exceptions can be corrected by changing the plans to conform to the code requirements; however, should you choose to request exceptions with this case please provide a letter that outlines each requested exception, the reason the exception is being requested (i.e. the hardship that prevents you from meeting the code requirements), and the required two (2) compensatory measures required by the code to request the exception. Please note that the compensatory measures must directly off-set the requested exception. In this case, six (6) compensatory measures (or more if more

exceptions are requested) would be needed in lieu of the three (3) noted exceptions. Exceptions require a super-majority vote (or three-fourths vote) of the Planning and Zoning Commission for approval (e.g. six [6] out of the seven [7] members).

I.10 Please note that failure to address all comments provided by staff will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case must be submitted no later than March 5, 2024 to give staff ample time to review the case prior to the March 12, 2024 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session will be held on February 27, 2024.
- 2) Planning & Zoning Public Hearing will be held on March 12, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

I.14 If the Planning and Zoning Commission approves this site plan case, the applicant will be responsible for submitting hard copies of the final site plan submittal package -- with all comments addressed -- for signatures from the Planning and Zoning Commission Chairman and Director of Planning and Zoning. Please note that this will be required to be completed prior to the acceptance of civil engineering plans.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|---------------|----------------|----------------------|
| ENGINEERING | Madelyn Price | 02/23/2024 | Approved w/ Comments |

- 02/23/2024: 1. Parking spaces may not be blocking garage doors.
 2. 10' minimum separation.
 3. Parking spaces may not be blocking garage doors.
 4. Dumpster must drain to an oil/water separator before draining to detention pond.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|-------------------|
| BUILDING | Craig Foshee | 02/22/2024 | Needs Review |

- 02/22/2024: * Dumpster enclosure must be a minimum of 10 feet from the property line
 * Dumpster enclosure is not allowed to have a fence. Enclosure must meet the design requirements of the Unified Development Code
 ** Dumpster enclosure shall also have a inlet that will drain into a oil/water separator before discharging to the storm water line/inlet.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|----------------|----------------|-------------------|
| FIRE | Ariana Kistner | 02/21/2024 | Approved |

No Comments

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------------|----------------|----------------------|
| GIS | Lance Singleton | 02/20/2024 | Approved w/ Comments |

- 02/20/2024: 4160sf Southern-most Bldg. will be 200 RANCH TRAIL, ROCKWALL, TX 75032
 3060sf Northern-most Bldg. will be 224 RANCH TRAIL, ROCKWALL, TX 75032

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------------|----------------|-------------------|
| POLICE | Chris Cleveland | 02/20/2024 | Approved |

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

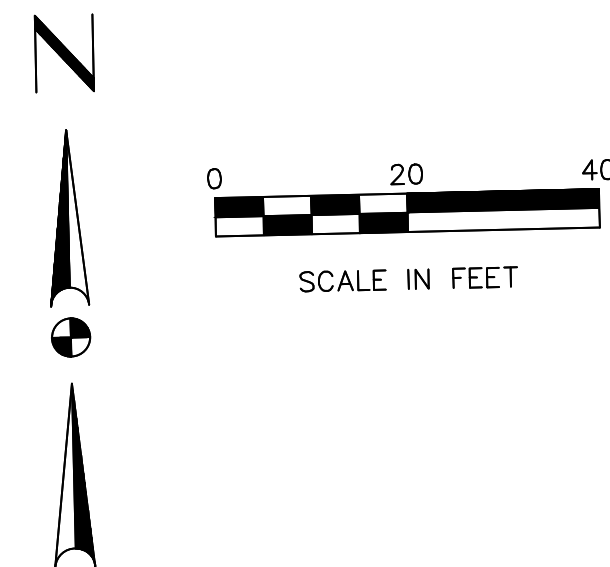
PARKS

Travis Sales

02/20/2024

Approved w/ Comments

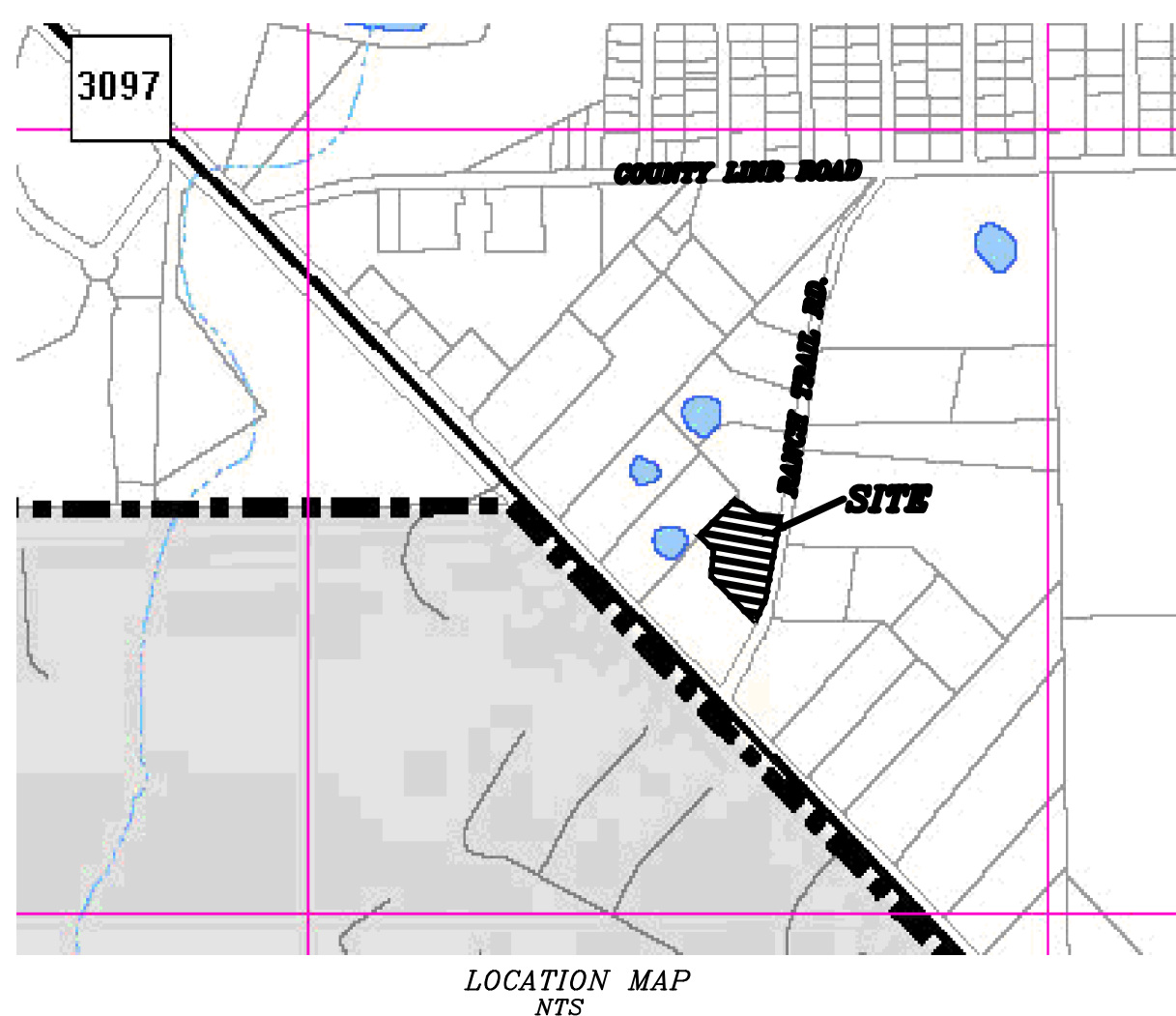
02/20/2024: Make sure you wrap your Autumn Blaze Maples for the first year to prevent sunscald on trunks



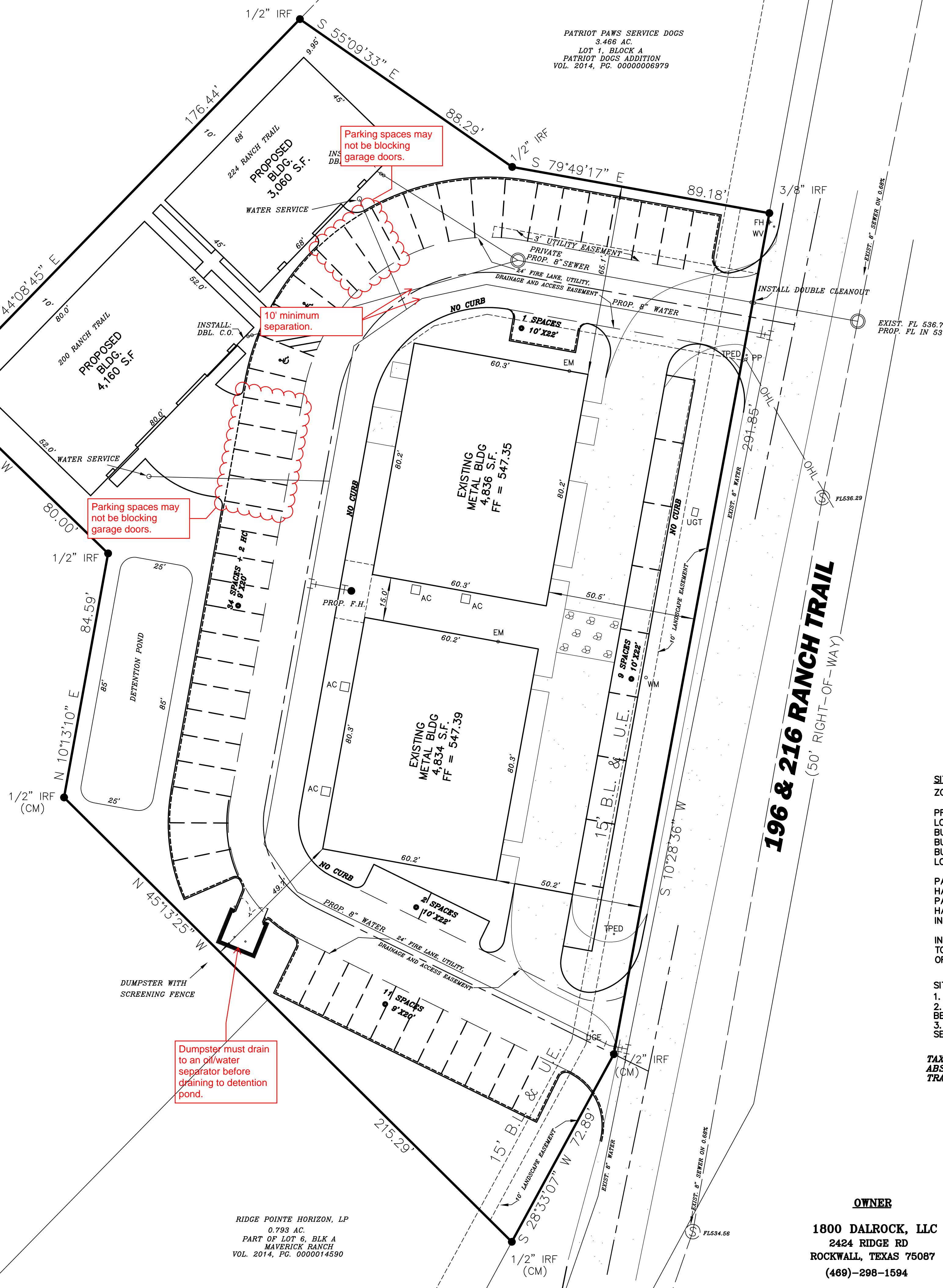
KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

1/2" CIRS
N 44°08'45" E
10'
80.0'
200 RANCH TRAIL
PROPOSED
BLDG'S
4,160 S.F.
WATER SERVICE
82.0'
80.0'
1/2" IRF
84.59'
N 10°13'10" E
25'
1/2" IRF (CM)
N 45°13'25" W

TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, PG. 0000017304



LOCATION MAP
NTS



PATRIOT PAWS SERVICE DOGS
3.466 AC.
LOT 1, BLOCK A
PATRIOT DOGS' ADDITION
VOL. 2014, PG. 0000006979

Parking spaces may not be blocking garage doors.

10' minimum separation.

Parking spaces may not be blocking garage doors.

Dumpster must drain to an oil/water separator before draining to detention pond.

RIDGE POINTE HORIZON, LP
0.793 AC.
PART OF LOT 6, BLK A
MAVERICK RANCH
VOL. 2014, PG. 0000014590

196 & 216 RANCH TRAIL
(50' RIGHT-OF-WAY)

SITE DATA SUMMARY

| | |
|--|-----------------------------------|
| ZONING | C (COMMERCIAL) |
| PROPOSED USE | BUSINESS OFFICES |
| LOT AREA | 1,550 ACRES |
| BUILDING SQUARE FOOTAGE | 16,890 SQ. FT. |
| BUILDING FOOTPRINT | 16,890 SQ. FT. |
| BUILDING HEIGHT | 28 FT. |
| LOT COVERAGE | 25.02% |
| PARKING REQUIRED | 1 SPACE/300 S.F. = 57 SPACES |
| HANDICAP PARKING REQ'D | 2 SPACE |
| PARKING PROVIDED | 57 SPACES |
| HANDICAP PARKING PROVIDED | 2 SPACE |
| INTERIOR LANDSCAPING REQ'D | 15% OF TOTAL SITE (10,124 SQ.FT.) |
| INTERIOR LANDSCAPING PROVIDED | 31,900 SQ. FT. |
| TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 35,602 SQ. FT. |

- SITE NOTES:**
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
 3. EXTERIOR LIGHTING TO BE WALL PACKS
SEE BUILDING ELEVATIONS

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
1800 DALROCK, LLC
2424 RIDGE RD
ROCKWALL, TEXAS 75087
(489)-298-1594

SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEQUITE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258

CASE NO. SP 2019-016



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WILLIAM M. FORD, P.E., ON JAN 29, 2024

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING + PROJECT MANAGEMENT SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

| | |
|----------|--------------|
| REVISION | WLD. |
| CHECKED | GCW. |
| DRAWN | |
| SCALE | 1" = 20' |
| DATE | JAN 29, 2024 |
| PROJECT | 23028 |
| | 20 |



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 190 & 216 Ranch Trail
 SUBDIVISION Marevik Ranch Addition LOT 5 BLOCK A
 GENERAL LOCATION 190 & 216 Ranch Trail

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING commercial CURRENT USE commercial
 PROPOSED ZONING _____ PROPOSED USE _____
 ACREAGE 1.55 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|--------------------------------|------------------------------------|------------------------------------|------------------------------------|
| <input type="checkbox"/> OWNER | <u>1800 Dalrock LLC</u> | <input type="checkbox"/> APPLICANT | <u>Douphrate & Assoc. Inc.</u> |
| CONTACT PERSON | <u>Kevin S. Lloyd</u> | CONTACT PERSON | <u>Deb Douphrate</u> |
| ADDRESS | <u>2424 Ridge Rd</u> | ADDRESS | <u>2235 Ridge Rd</u> |
| CITY, STATE & ZIP | <u>Rockwall, TX 75087</u> | CITY, STATE & ZIP | <u>Rockwall, TX 75087</u> |
| PHONE | <u>972 469-298-1594</u> | PHONE | <u>972 742 2210</u> |
| E-MAIL | <u>Klloyd@keatax.com</u> | E-MAIL | <u>wldouphrate@douphrate.com</u> |

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin S. Lloyd [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

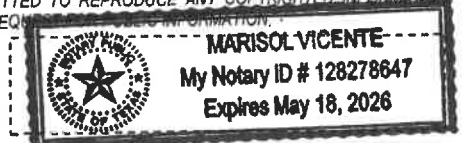
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 281.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF February, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF February, 2024

OWNER'S SIGNATURE

Kevin S. Lloyd
Mai We

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES May 18, 2026



SP2024-003: Site Plan for 196 & 216 Ranch Trail



Case Location Map =

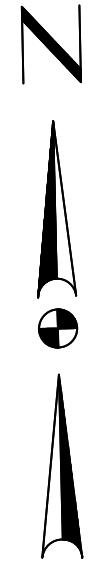


City of Rockwall

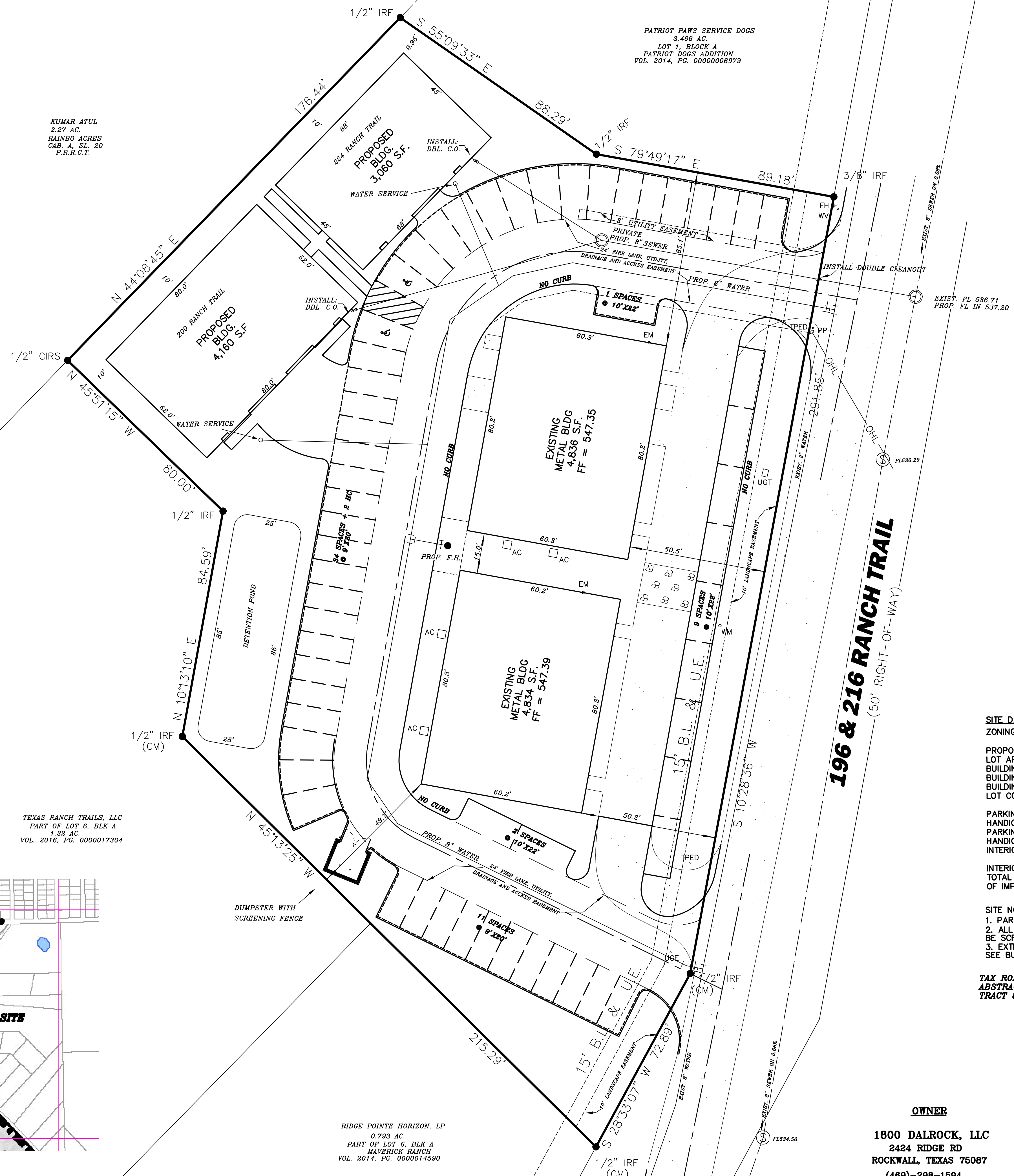
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

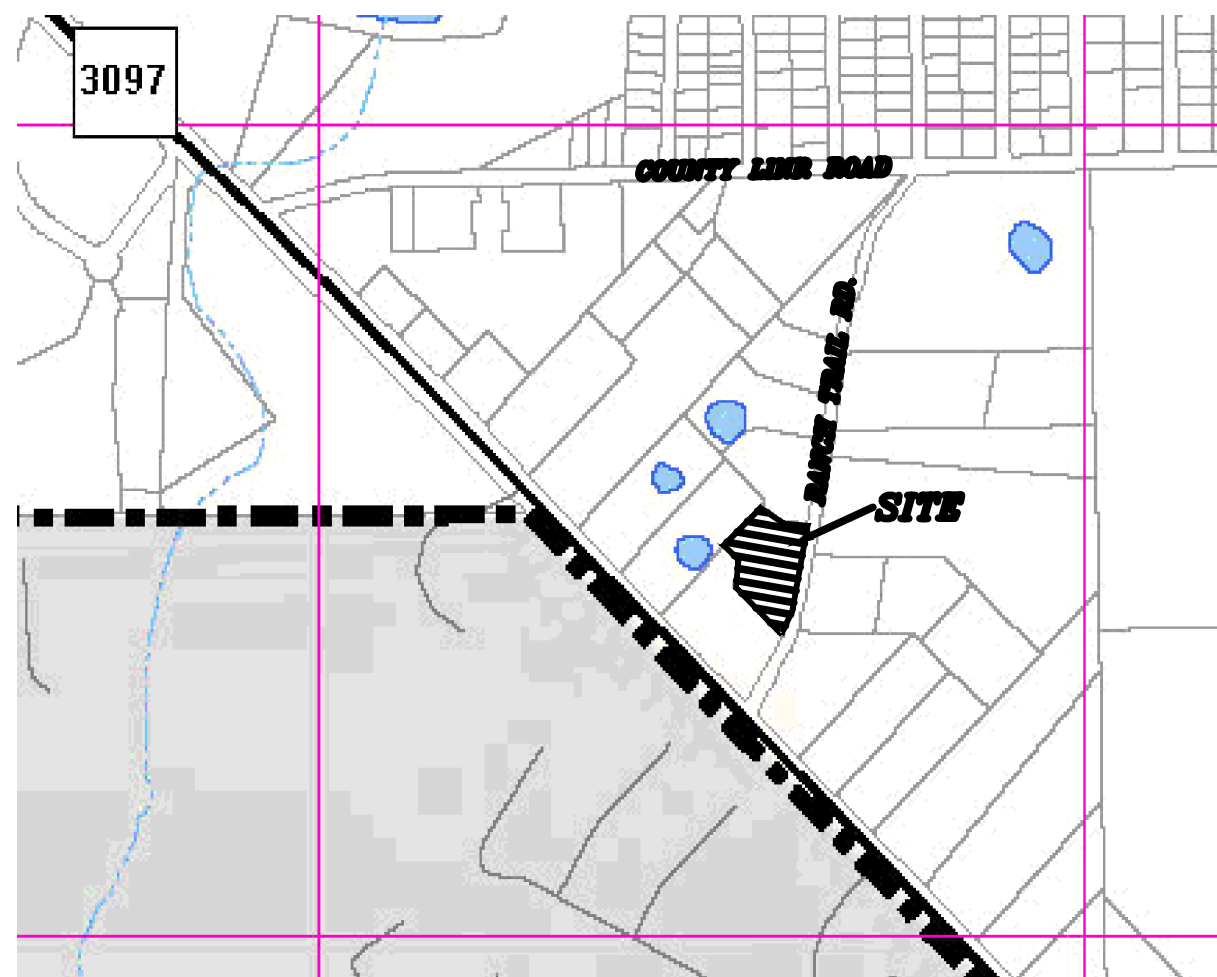




KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.



TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, PG. 0000017304



LOCATION MAP
NTS

DUMPSTER WITH
SCREENING FENCE

RIDGE POINTE HORIZON, LP
0.793 AC.
PART OF LOT 6, BLK A
MAVERICK RANCH
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS
3.466 AC.
LOT 1, BLOCK A
PATRIOT DOGS' ADDITION
VOL. 2014, PG. 0000006979

196 & 216 RANCH TRAIL
(50' RIGHT-OF-WAY)

SITE DATA SUMMARY

| | |
|--|-----------------------------------|
| ZONING | C (COMMERCIAL) |
| PROPOSED USE | BUSINESS OFFICES |
| LOT AREA | 1.550 ACRES |
| BUILDING SQUARE FOOTAGE | 16,890 SQ. FT. |
| BUILDING FOOTPRINT | 16,890 SQ. FT. |
| BUILDING HEIGHT | 28 FT. |
| LOT COVERAGE | 25.02% |
| PARKING REQUIRED | 1 SPACE/300 S.F. = 57 SPACES |
| HANDICAP PARKING REQ'D | 2 SPACE |
| PARKING PROVIDED | 57 SPACES |
| HANDICAP PARKING PROVIDED | 2 SPACE |
| INTERIOR LANDSCAPING REQ'D | 15% OF TOTAL SITE (10,124 SQ.FT.) |
| INTERIOR LANDSCAPING PROVIDED | 31,900 SQ. FT. |
| TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 35,602 SQ. FT. |

SITE NOTES:

1. PARKING SPACES ARE 9'X20'
2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
3. EXTERIOR LIGHTING TO BE WALL PACKS
SEE BUILDING ELEVATIONS

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
1800 DALROCK, LLC
2424 RIDGE RD
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(489)-298-1594

SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEARQUITE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258

CASE NO. SP 2019-016



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY M.L. DOUPHRATE II, TEXAS P.L.L.C. ON JAN 29, 2024

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

| | |
|----------|--------------|
| REVISION | WLD. |
| CHECKED | GCW. |
| DRAWN | |
| SCALE | 1" = 20' |
| DATE | JAN 29, 2024 |
| PROJECT | 23028 |
| | 20 |



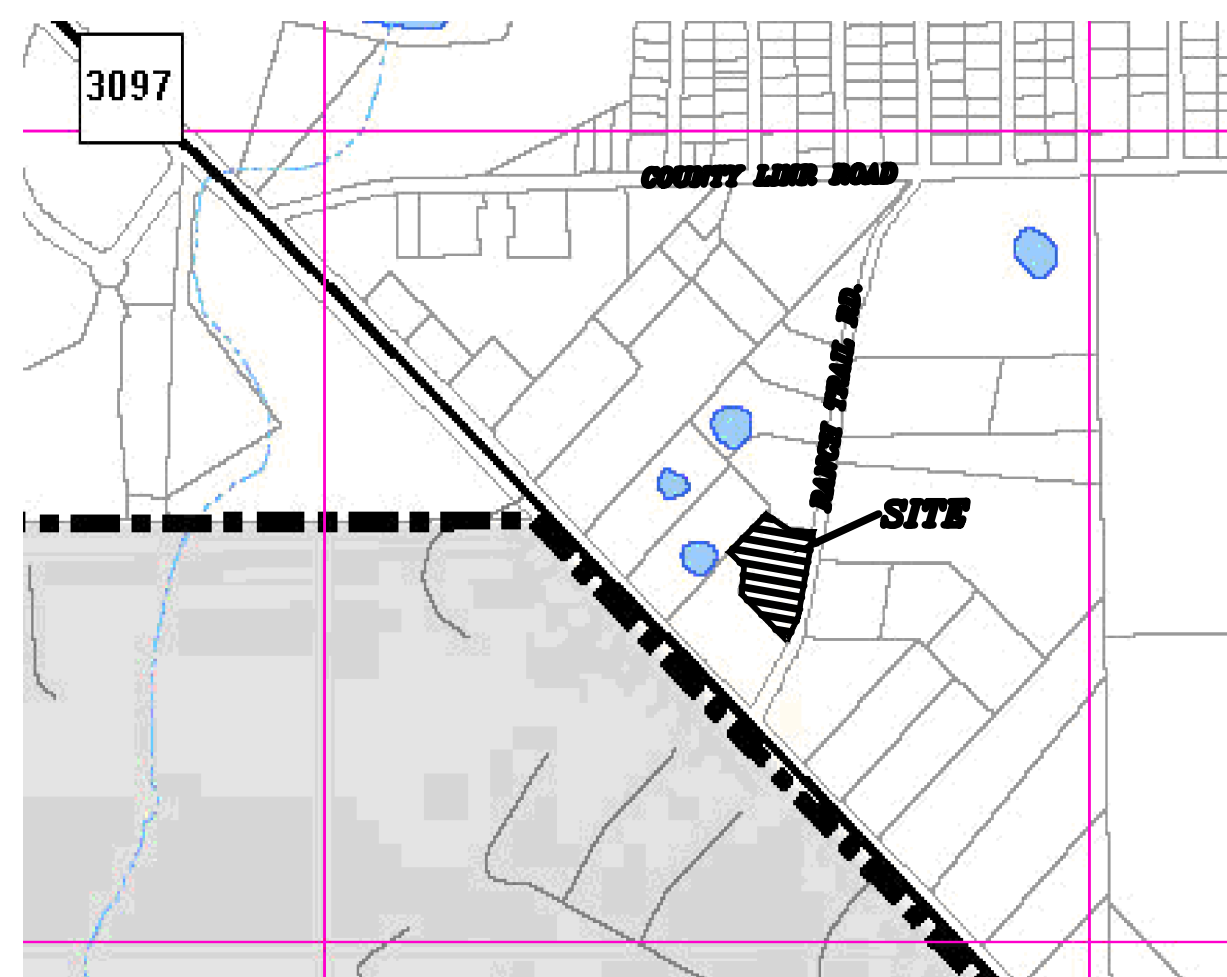
SCALE IN FEET

KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

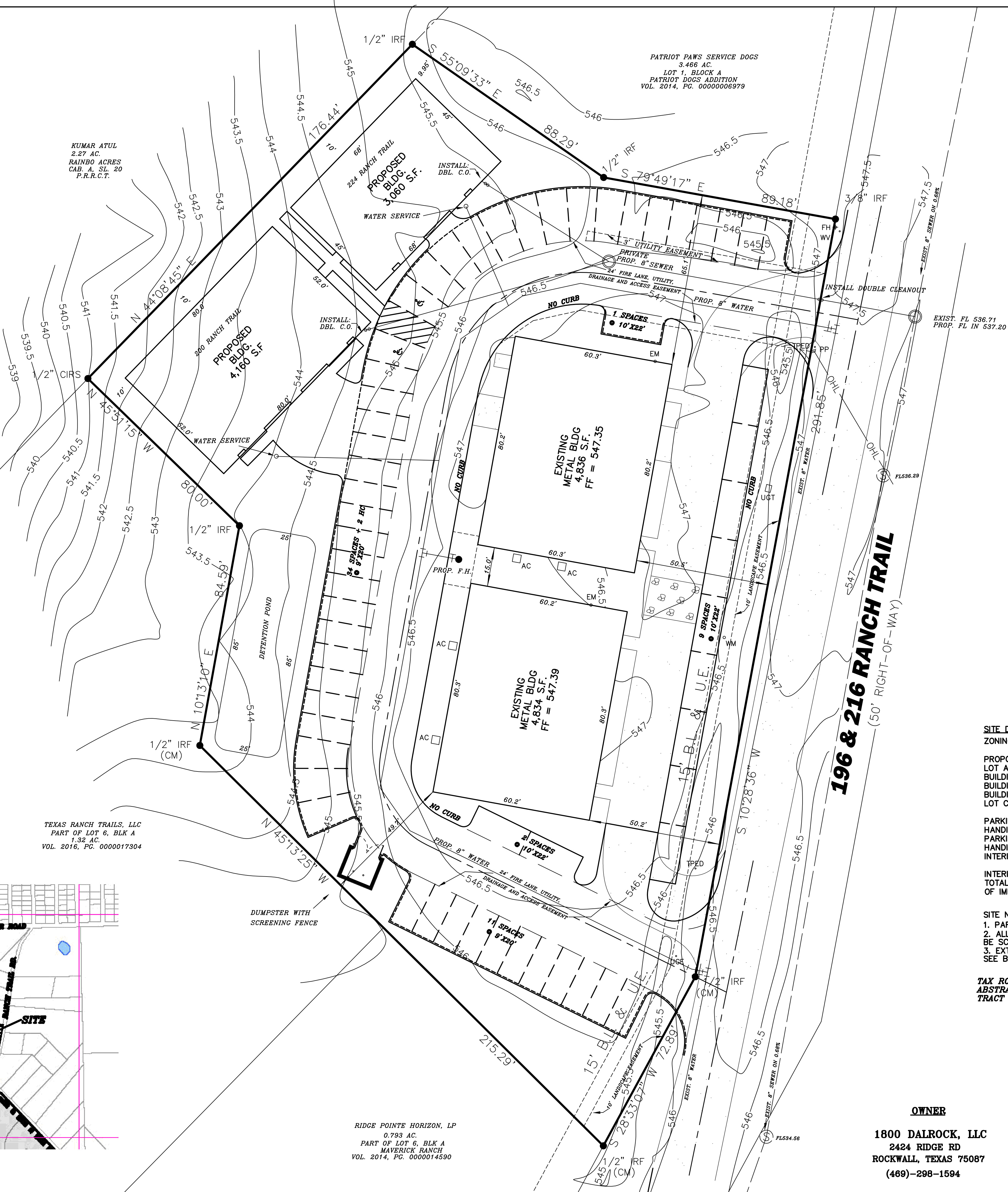
TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, PG. 0000017304

RIDGE POINTE HORIZON, LP
0.798 AC.
PART OF LOT 6, BLK A
MAVERICK RANCH
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS
3.468 AC.
LOT 1, BLOCK A
PATRIOT DOGS ADDITION
VOL. 2014, PG. 0000006979



LOCATION MAP
NTS



196 & 216 RANCH TRAIL
(50' RIGHT-OF-WAY)

SITE DATA SUMMARY

| | |
|--|-----------------------------------|
| ZONING | C (COMMERCIAL) |
| PROPOSED USE | BUSINESS OFFICES |
| LOT AREA | 1.550 ACRES |
| BUILDING SQUARE FOOTAGE | 16,890 SQ. FT. |
| BUILDING FOOTPRINT | 16,890 SQ. FT. |
| BUILDING HEIGHT | 28 FT. |
| LOT COVERAGE | 25.02% |
| PARKING REQUIRED | 1 SPACE/300 S.F. = 57 SPACES |
| HANDICAP PARKING REQ'D | 2 SPACE |
| PARKING PROVIDED | 57 SPACES |
| HANDICAP PARKING PROVIDED | 2 SPACE |
| INTERIOR LANDSCAPING REQ'D | 15% OF TOTAL SITE (10,124 SQ.FT.) |
| INTERIOR LANDSCAPING PROVIDED | 31,900 SQ. FT. |
| TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 35,602 SQ. FT. |

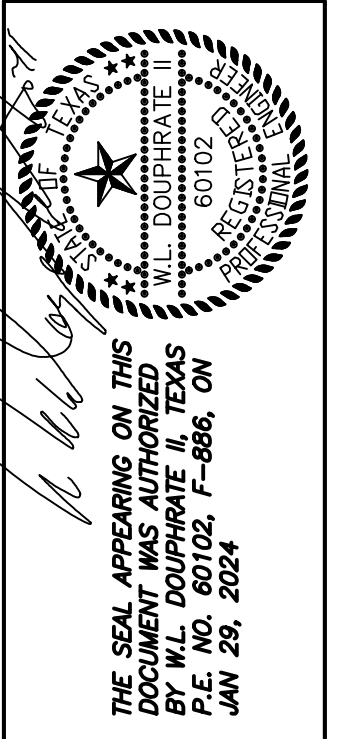
- SITE NOTES:**
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
 3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
1800 DALROCK, LLC
2424 RIDGE RD
ROCKWALL, TEXAS 75150
(469)-298-1594

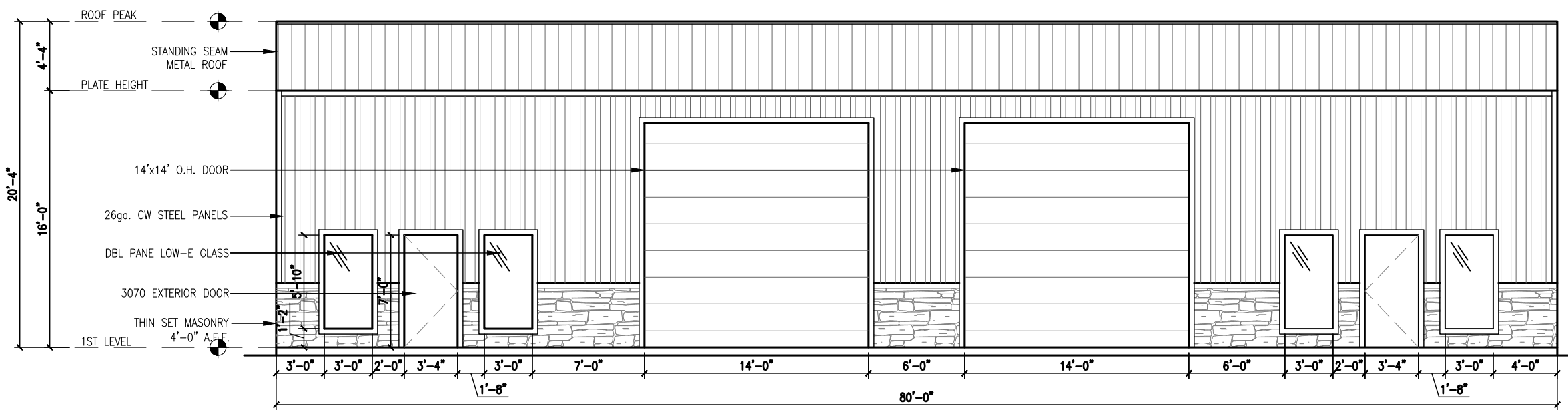
SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAQUITE, TEXAS 75150
(903)-944-8397
Texas Firm No. 10194258



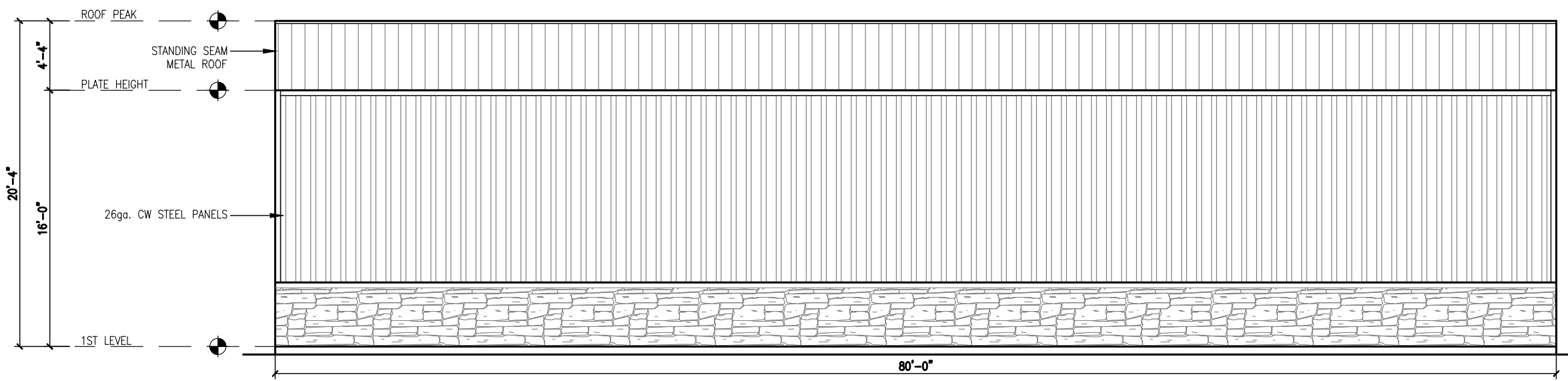
DOUPHRADE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (872)771-9004 FAX: (872)771-9005

SITE PLAN
LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

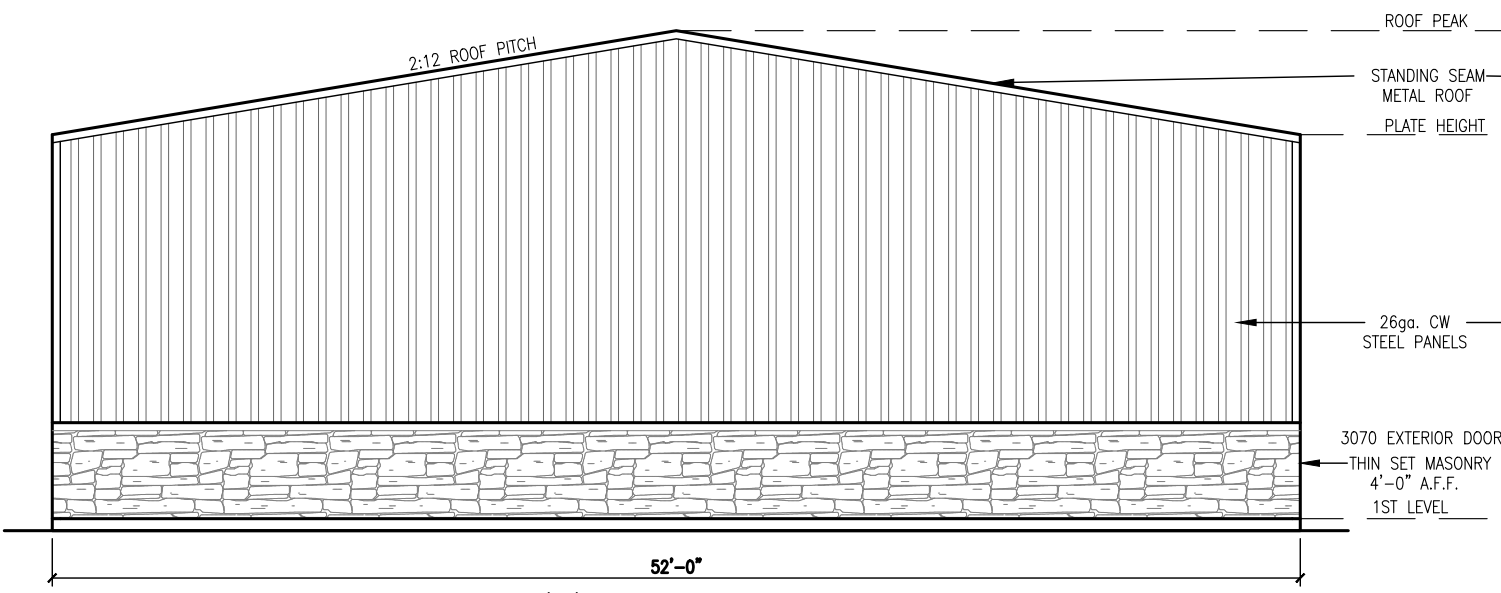
| | |
|----------|-------------------------------|
| REVISION | WLD. |
| CHECKED | GCW. |
| DRAWN | SCALE 1" = 20' H 1" = V |
| DATE | JAN 29, 2024 |
| PROJECT | 23028 |
| 20 | 23028 SITE PLAN |



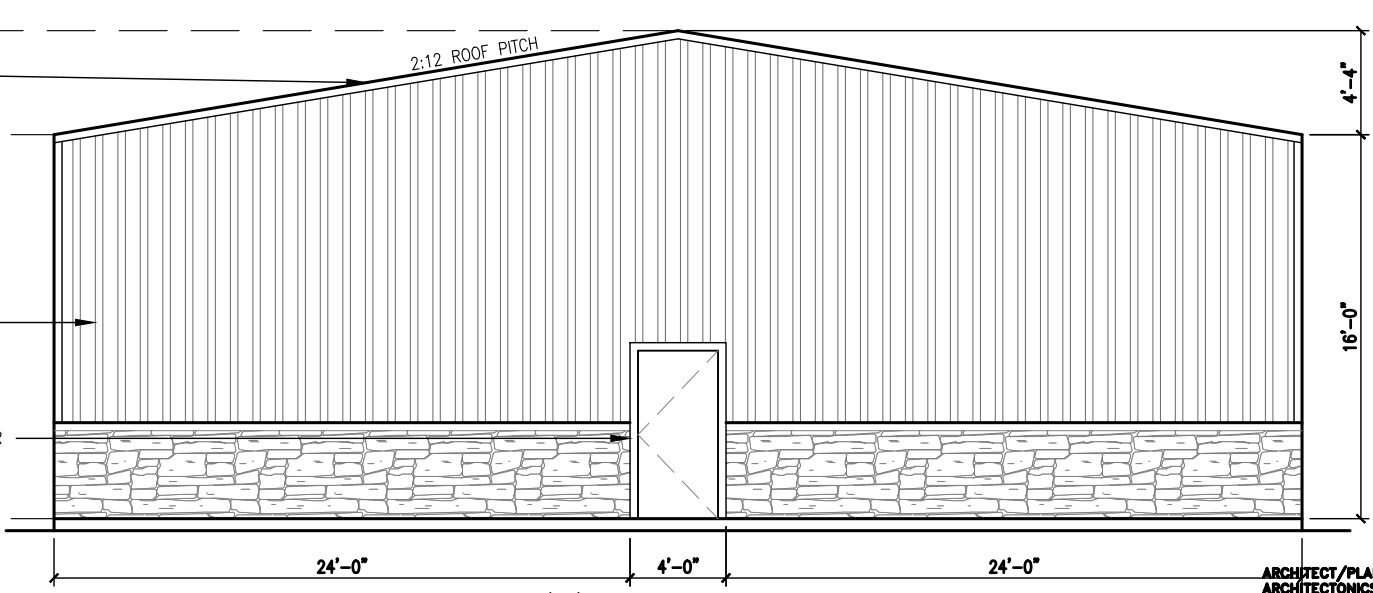
BUILDING 'A' – SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 'A' – NORTH ELEVATION
1/8" = 1'-0"



BUILDING 'A' – WEST ELEVATION
1/8" = 1'-0"



BUILDING 'A' – EAST ELEVATION
1/8" = 1'-0"

| MATERIAL USAGE (%) - SOUTH | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 1,280 | |
| DOORS & WINDOWS (DEDUCTED) | | 506 | |
| ACCOUNTABLE AREA | | 774 | 100% |
| 26ga. STEEL | | 650 | 84% |
| THIN SET MASONRY CLADDING | | 124 | 16% |

| MATERIAL USAGE (%) - NORTH | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 1,280 | |
| DOORS & WINDOWS (DEDUCTED) | | 0 | |
| ACCOUNTABLE AREA | | 1,280 | 100% |
| 26ga. STEEL | | 925 | 73% |
| THIN SET MASONRY CLADDING | | 355 | 27% |

| MATERIAL USAGE (%) - WEST | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 944 | |
| DOORS & WINDOWS (DEDUCTED) | | 0 | |
| ACCOUNTABLE AREA | | 944 | 100% |
| 26ga. STEEL | | 736 | 78% |
| THIN SET MASONRY CLADDING | | 208 | 22% |

| MATERIAL USAGE (%) - EAST | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 944 | |
| DOORS & WINDOWS (DEDUCTED) | | 21 | |
| ACCOUNTABLE AREA | | 923 | 100% |
| 26ga. STEEL | | 731 | 79% |
| THIN SET MASONRY CLADDING | | 192 | 21% |

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



| REVISIONS | DATE |
|-------------------|-----------|
| DESCRIPTION/ISSUE | 9/15/2021 |

PROJECT NAME AND ADDRESS:
METAL BUILDINGS for 1800 DALROCK, LLC
200 & 206 RANCH TRAIL RD.
ROCKWALL, TEXAS 75032

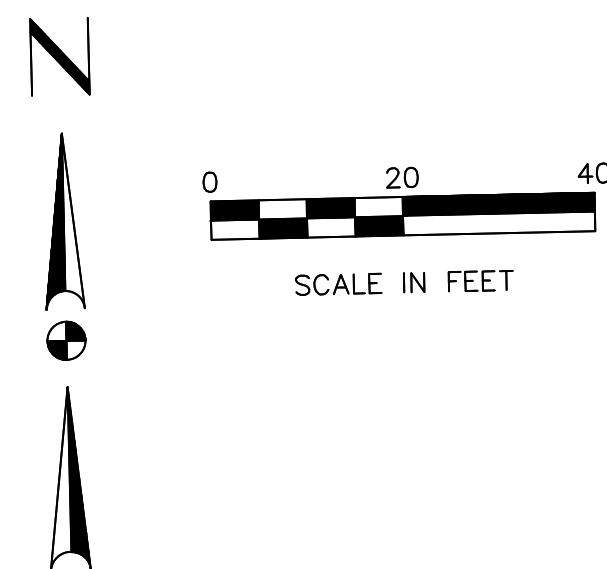
| | |
|-------------|----------|
| PROJECT No. | |
| DRAWN BY | |
| CHECKED BY | |
| DATE | 01/23/24 |
| SCALE | |
| SHEET NO. | of |

DRAWING NAME:
ELEVATIONS- BLDG 'A'

OWNER/AGENT:
1800 DALROCK, INC
ATTN: KEVIN LLOYD
(214)316-1060

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
STEVEN REYES
(972)345-1884
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

A1.0



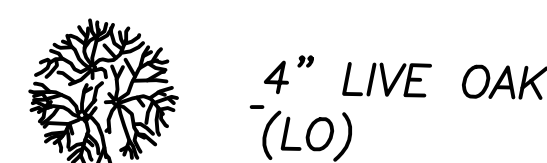
KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, PG. 0000017304

PATRIOT PAWS SERVICE DOGS
3.466 AC.
LOT 1, BLOCK A
PATRIOT DOGS ADDITION
VOL. 2014, PG. 0000006979

MAVERICK RANCH
0.793 AC.
ART OF LOT 6, BLK A
GE POINTE HORIZON, LP
2014, PG. 0000014590

---PROPOSED TREES---



4" LIVE OAK (LO)



4" AUTUMN BLAZE RED MAPLE (RM)

---PROPOSED SHRUBS---



VITEX CASTUS (VC)



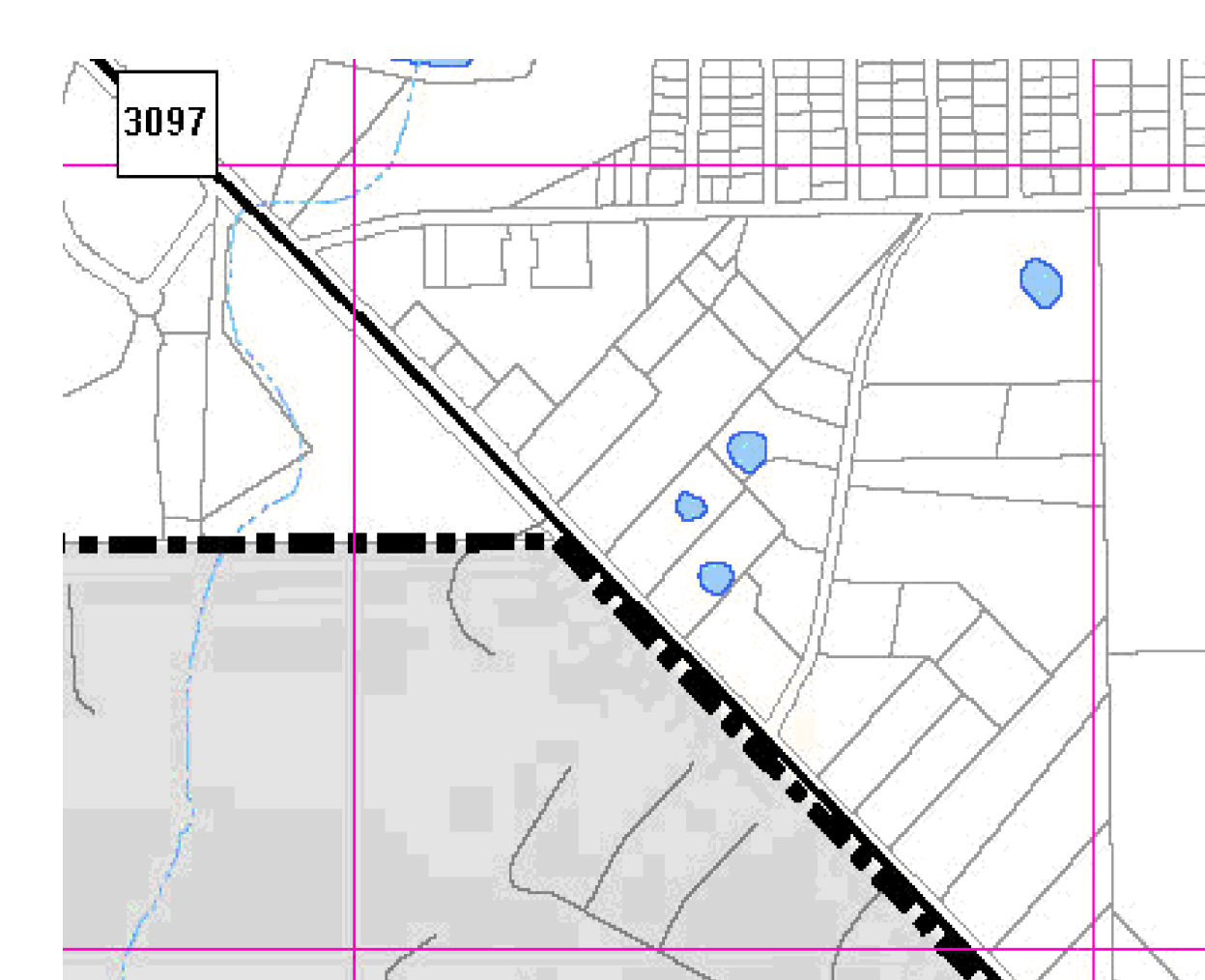
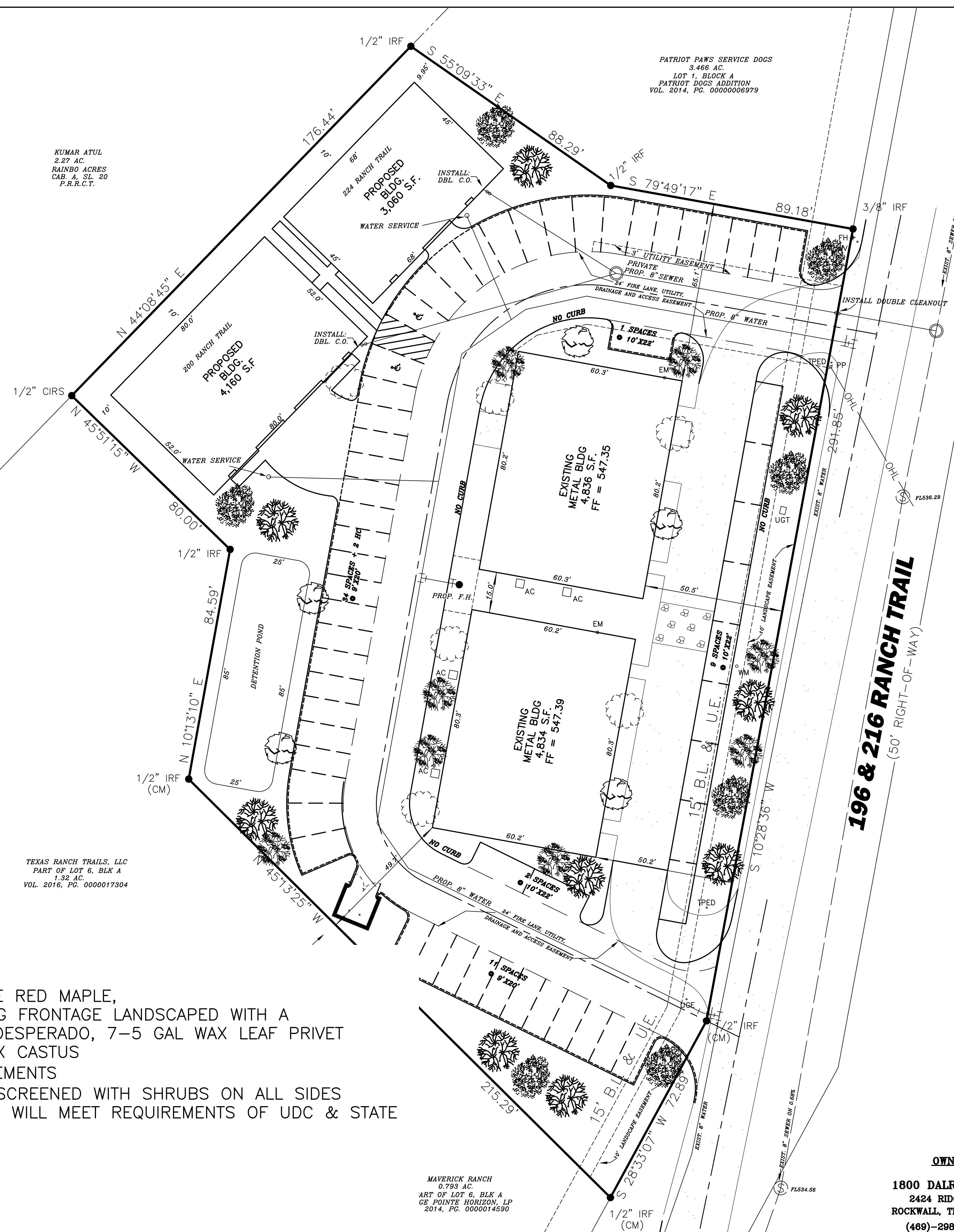
TEXAS SAGE DESPARADO (SD)



WAX LEAF PRIVET LIGUSTRUM (PL)

LANDSCAPE NOTES

1. 9-4" LIVE OAK, 9-4" AUTUMN BLAZE RED MAPLE,
2. SCREEN HEDGEROW INTERIOR PARKING FRONTAGE LANDSCAPED WITH A MIXTURE OF 7-7 GAL TEXAS SAGE DESPERADO, 7-5 GAL WAX LEAF PRIVET LIGUSTRUM BUSHES, 7- 5 GAL VITEX CASTUS
3. NO TREES WITHIN 5' OF UTILITY EASEMENTS
4. ALL GROUNDED A/C UNITS WILL BE SCREENED WITH SHRUBS ON ALL SIDES
5. THE LANDSCAPING IRRIGATION SYSTEM WILL MEET REQUIREMENTS OF UDC & STATE STATE OF TEXAS TCEQ



| SITE DATA SUMMARY | |
|--|-----------------------------------|
| ZONING | C (COMMERCIAL) |
| PROPOSED USE | BUSINESS OFFICES |
| LOT AREA | 1.550 ACRES |
| BUILDING SQUARE FOOTAGE | 16,890 SQ. FT. |
| BUILDING FOOTPRINT | 16,890 SQ. FT. |
| BUILDING HEIGHT | 28 FT. |
| LOT COVERAGE | 25.02% |
| PARKING REQUIRED | 1 SPACE/300 S.F. = 57 SPACES |
| HANDICAP PARKING REQ'D | 2 SPACE |
| PARKING PROVIDED | 57 SPACES |
| HANDICAP PARKING PROVIDED | 2 SPACE |
| INTERIOR LANDSCAPING REQ'D | 15% OF TOTAL SITE (10,124 SQ.FT.) |
| INTERIOR LANDSCAPING PROVIDED | 31,900 SQ. FT. |
| TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE | 35,602 SQ. FT. |

- SITE NOTES:
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
 3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

1.550 AC.
67,502 SQ. FT.

OWNER
1800 DALROCK, LLC
2424 RIDGE RD
ROCKWALL, TEXAS 75087
(469)-298-1594

SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAGUIE, TEXAS 75150
(903)-944-8397
TeXas Firm No. 10194258

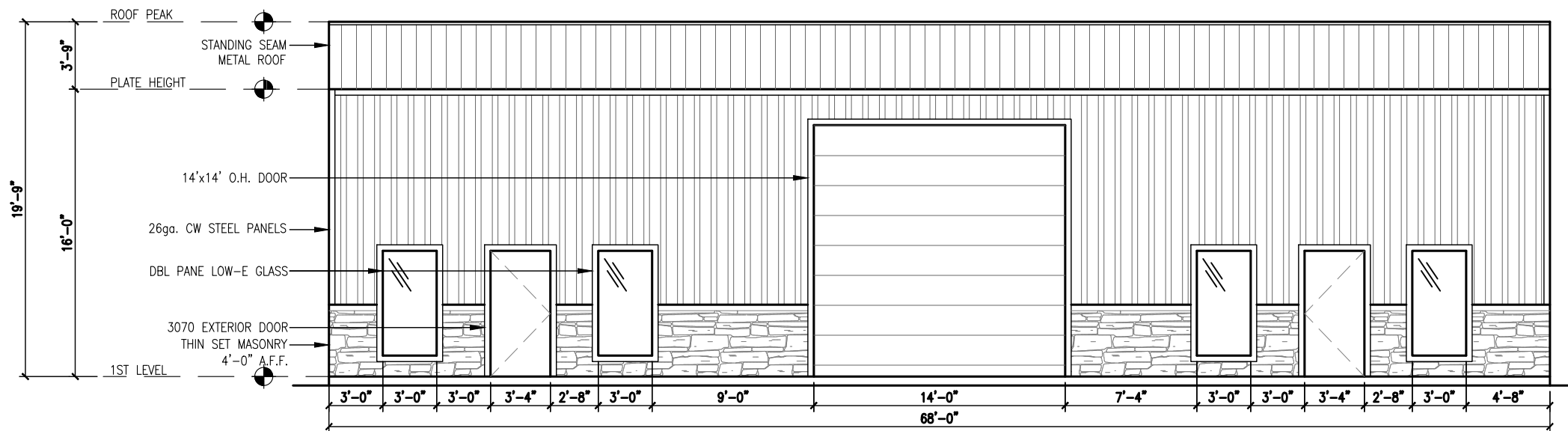
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE II, TEXAS REG. NO. 80102, F-686, ON JAN 29, 2024.

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

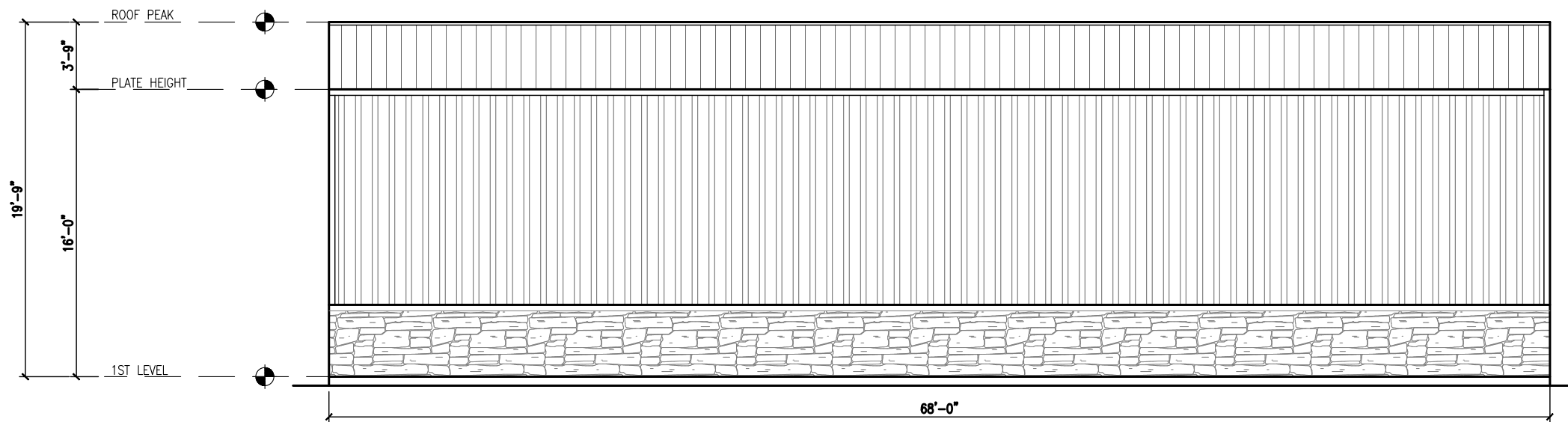
LANDSCAPING PLAN
LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

| | |
|----------|----------------------------------|
| REVISION | WLD. |
| CHECKED | GCW. |
| DRAWN | SCALE 1" = 20' H 1" = 4' V |
| DATE | JAN 29, 2024 |
| PROJECT | 23028 |
| | 20 23028 SITE PLAN |

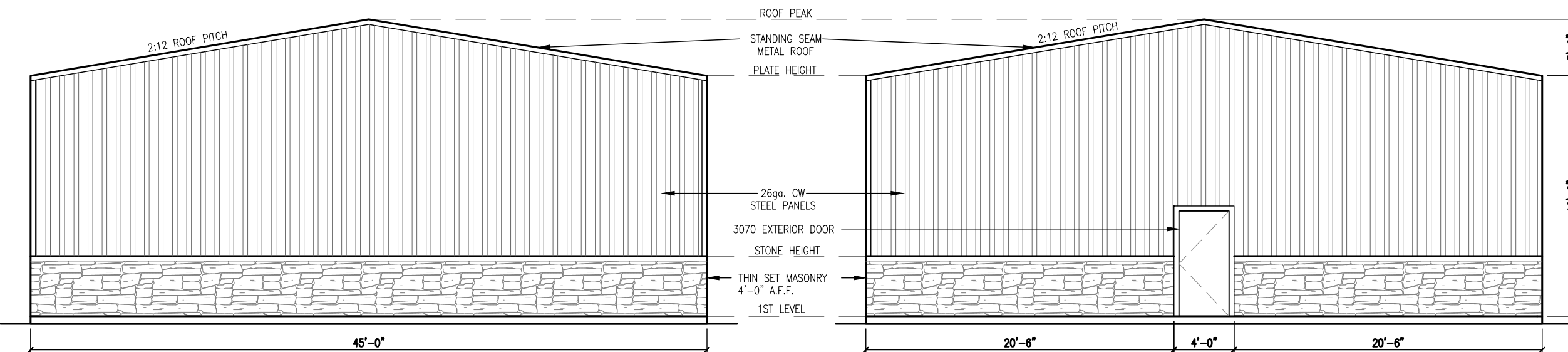
CASE NO. SP 2019-016



BUILDING 'B' - SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 'B' - NORTH ELEVATION
1/8" = 1'-0"



BUILDING 'B' - EAST ELEVATION
1/8" = 1'-0"

BUILDING 'B' - WEST ELEVATION
1/8" = 1'-0"

| MATERIAL USAGE (%) - SOUTH | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 1,088 | |
| DOORS & WINDOWS (DEDUCTED) | | 310 | |
| ACCOUNTABLE AREA | | 778 | 100% |
| 26ga. STEEL | | 643 | 82% |
| THIN SET MASONRY CLADDING | | 135 | 18% |

| MATERIAL USAGE (%) - NORTH | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 1,088 | |
| DOORS & WINDOWS (DEDUCTED) | | 0 | |
| ACCOUNTABLE AREA | | 1,088 | 100% |
| 26ga. STEEL | | 789 | 73% |
| THIN SET MASONRY CLADDING | | 299 | 27% |

| MATERIAL USAGE (%) - WEST | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 804 | |
| DOORS & WINDOWS (DEDUCTED) | | 21 | |
| ACCOUNTABLE AREA | | 783 | 100% |
| 26ga. STEEL | | 619 | 79% |
| THIN SET MASONRY CLADDING | | 164 | 21% |

| MATERIAL USAGE (%) - EAST | | | |
|----------------------------|---------------|-----------|---------|
| ITEM | BRAND / COLOR | AREA S.F. | PERCENT |
| ELEVATION AREA | | 804 | |
| DOORS & WINDOWS (DEDUCTED) | | 0 | |
| ACCOUNTABLE AREA | | 804 | 100% |
| 26ga. STEEL | | 624 | 78% |
| THIN SET MASONRY CLADDING | | 180 | 22% |

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____

WITNESS OUR HANDS, THIS ___ DAY OF _____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



| REVISIONS | DATE | DESCRIPTION/ISSUE |
|-----------|-----------|-------------------|
| | 9/15/2021 | |

PROJECT NAME AND ADDRESS:
**METAL BUILDINGS for
1800 DALROCK, LLC**
200 & 206 RANCH TRAIL RD.
ROCKWALL, TEXAS 75032

| | |
|-------------|----------|
| PROJECT No. | |
| DRAWN BY | |
| CHECKED BY | |
| DATE | 01/23/24 |
| SCALE | |
| SHEET NO. | of |

DRAWING NAME:
**ELEVATIONS-
BLDG 'B'**

OWNER/AGENT:
1800 DALROCK, LLC
ATTN: KEVIN LLOYD
(214)316-1060

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
STEVEN REYES
(972)345-1884
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

A2.0

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-004
PROJECT NAME: Site Plan for 700 Vigor Way
SITE ADDRESS/LOCATIONS: 700 VIGOR WAY, ROCKWALL, 75087

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|----------------------|
| PLANNING | Bethany Ross | 02/23/2024 | Approved w/ Comments |

02/23/2024: SP2024-004; Site Plan for 700 Vigor Way

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2024-004) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block on the site plan and photometric plan. The signature block on the site plan is missing the chairman signature line. (Subsection 03.04.A, of Article 11, UDC)

I.5 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.6 Site Plan

- 1) Indicate all building setbacks. (Subsection 03.14.B, of Article 11, UDC)
- 2) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)

M.7 Landscape Plan

- 1) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)
- 2) Indicate screening required for dumpsters. Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that utilize the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate and require screening shrubs. (Subsection 06.02.D.7, of Article 05, UDC)
- 3) All parking spaces must be within 80' of a canopy tree. Please provide an exhibit showing conformance to this requirement. (Subsection 05.03.E, of Article 08, UDC)
- 4) Two (2) Canopy trees and four (4) accent trees are required for the frontage of IH-30. Disperse these trees throughout the site to meet this requirement. (Subsection 06.02.E,

Article 05, UDC)

- 5) Please provide shrubs adjacent to the parking spaces adjacent to Vigor Way.
- 6) Please provide a ten (10) foot landscape buffer with one (1) canopy and one (1) accent tree per 50-linear feet along Vigor Way.
- 7) Please define the landscape area call out on the plan.
- 8) Please provide headlight screening along the northern property line.

M.8 Building Elevations

- 1) Please dash in all roof top mounted equipment and demonstrate that it will be fully screened.
- 2) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- 3) Subsection 06.02(C)(5) of Article 05, District Development Standards, of the UDC requires that "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." The proposed building does not meet this requirement.

M.9 Photometric Plan

- 1) Provide the same site data information as site plan.
- 2) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one footcandle. (Subsection 03.03.C, of Article 07, UDC)
- 3) All pole-mounted lights shall not exceed a height of 20 feet in the IH-30 Overlay District. Please revise mounting height for the eight (8) poles that exceed this mounting height. (Subsection 06.02.G, of Article 05, UDC)
- 4) Provide cut-sheets of light fixtures. (Subsection 03.03, of Article 07, UDC)

M.10 Staff has identified the following exception(s) associated with the proposed request: [1] Four (4)-Sided Architecture, and [2] Primary Building Articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on March 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 27, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 12, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|---------------|----------------|----------------------|
| ENGINEERING | Madelyn Price | 02/23/2024 | Approved w/ Comments |

- 02/23/2024: 1. Testable backflow.
- 2. 8"
- 3. This will be required to be an 8" water line.

4. Must pick up off site drainage flowing to this lot.
5. Dumpster area must drain to an oil/water separator.
6. This will be required to be an 8" water line.
7. There is an additional 5' easement south of the 15' easement. See attached plat.
8. 8"
9. Testable backflow.
10. Show.
11. Trees must be 10' from water line.
12. Tree is shown on top of fire line.
13. Landscape plan is subject to change with engineering plan review.
14. No trees within 10' of utilities.
15. Required landscape berms may not be top of City utilities.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|-------------------|
| BUILDING | Craig Foshee | 02/22/2024 | Needs Review |

02/22/2024: * Domestic water service and irrigation service shall be equipped with a Double Check Assembly below ground at the water meter. RPZ is not allowed here
 * Dumpster enclosure does not meet the design requirements of the Unified Development Code, and shall also have a inlet that will drain into a oil/water separator before discharging to the storm water line/inlet.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|----------------|----------------|----------------------|
| FIRE | Ariana Kistner | 02/21/2024 | Approved w/ Comments |

02/21/2024: The minimum turning radius shall be in accordance with the following:

1. For buildings less than 30-feet and less than 3 stories in height:
 - a. 20-feet (inside) for turns less than or equal to 90 degrees
 - b. 25-feet (inside) for turns greater than 90 degrees
2. For buildings 30-feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet

For purposes of this section, the building height is measured from the lowest finished grade of the fire access roads to the point of accessible roof level, including parapet walls.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------------|----------------|-------------------|
| GIS | Lance Singleton | 02/20/2024 | Approved |

No Comments

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------------|----------------|-------------------|
| POLICE | Chris Cleveland | 02/20/2024 | Approved |

No Comments

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|-------------------|
| PARKS | Bethany Ross | 02/23/2024 | Approved |

02/23/2024: landscape looks very limited please check you calculations

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

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INSTALL:
(1) 10"x6" TAPPING SLEEVE
(1) 8" VALVE
(1) FIRE HYDRANT ASSEMBLY

FOR IRRIGATION SERVICE INSTALL:
(1) 10"x1" TAPPING SLEEVE
(1) 3/4" METER BOX
INSTALL METER IN ROW.
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR DOMESTIC SERVICE INSTALL:
(1) 10"x2" TAPPING SLEEVE
(1) 2" WATER LINE
(1) 2" METER BOX
INSTALL METER IN ROW.
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

INSTALL:
(1) 10"x6" TAPPING SLEEVE
(1) 10" VALVE
(1) 6" VALVE
6" FIRE SPRINKLER LINE
(C-900 CLASS 200 PVC DR14)

INSTALL:
(1) 10"x6" TAPPING SLEEVE
(1) 8" VALVE
(1) FIRE HYDRANT ASSEMBLY

This will be required to be an 8" water line

There is an additional 5' easement south of the 15' easement. See attached plat.

This will be required to be an 8" water line

Must pick up off site drainage flowing to this lot.

PROP. DUMPSTER PAD W/ 8" PAVING. CONSTRUCT 6" MASONRY ENCLOSURE TO MATCH BLDG & SELF LATCHING METAL GATES. (SEE SITE DETAILS)
Dumpster area must drain to an oil/water separator.

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
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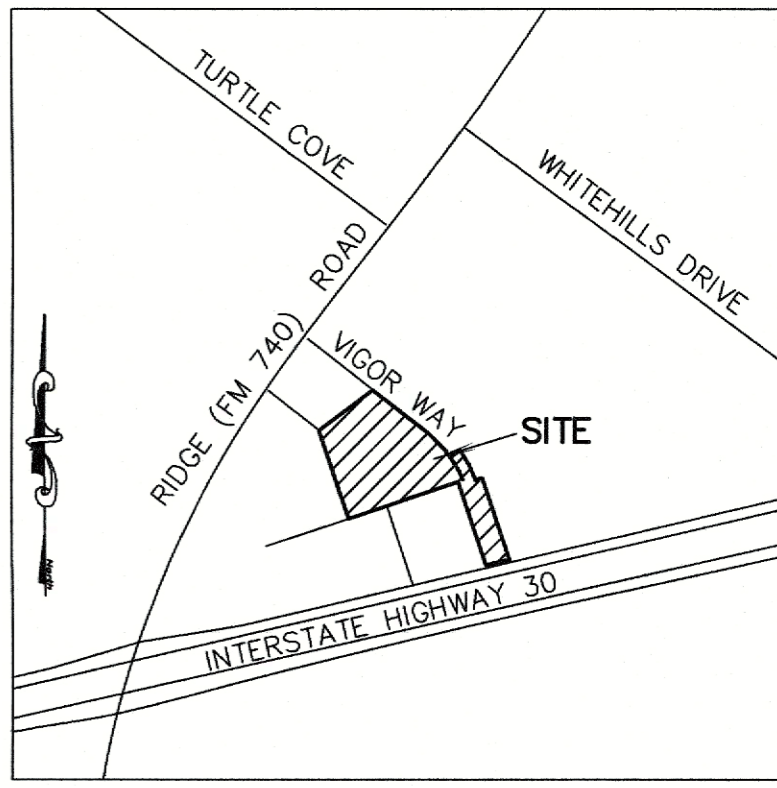
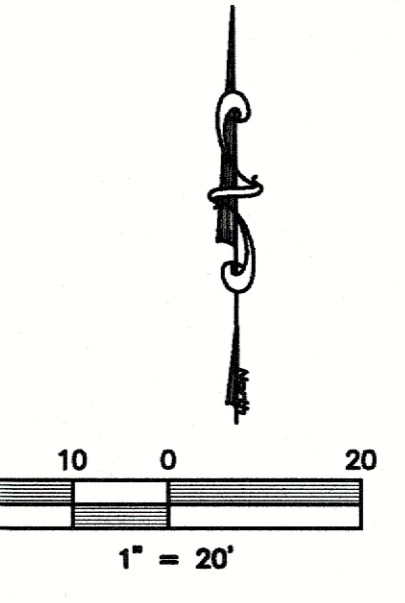
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 - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

**** NOTICE TO CONTRACTORS ****
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SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.
WITNESS OUR HANDS, this _____ day of _____

Director of Planning and Zoning



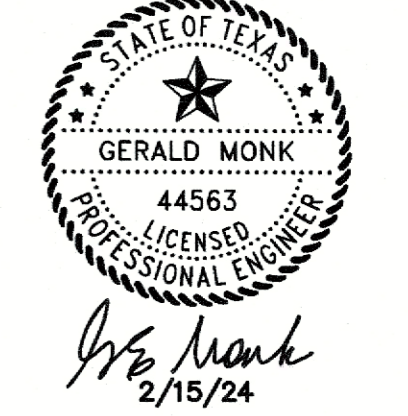
SITE DATA:
LOT AREA: 1.74 Acres, 75,987 sq.ft.
LOT COVERAGE: 17%
FLOOR TO AREA RATIO: 5.88:1
BUILDING AREA: 1st Floor: 12,923 sq.ft. 2nd Floor: 12,577 sq.ft. Total: 25,500 sq.ft.
BUILDING HEIGHT: 2 STORY (30' MAX)
PROPOSED FUTURE USE: OFFICE
IMPERVIOUS AREA (including buildings): 59,269 sq.ft.
ZONING: C2
PARKING: Required: Office (1/300sf) = 85 Handicap = 4 Provided: Standard = 82 Handicapped = 4 Total Provided = 86
LANDSCAPE AREA: Required: (20%) 15,197 sq.ft. Provided: 16,718 sq.ft.
FIRESPRINKLER: YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

LEGEND

| | |
|---------------|------------------------------|
| --- | PROPERTY LINE |
| EX. SS | EXISTING SANITARY SEWER LINE |
| EX. W | EXISTING WATER LINE |
| ⊙ FH | EXISTING FIRE HYDRANT |
| ⊗ WM | EXISTING WATER METER |
| ⊙ PP | EXISTING POWER POLE |
| ⊙ LP | EXISTING LIGHT POLE |
| ⊙ | EXISTING SS MANHOLE |
| ⊠ | EX. TELEPHONE BOX |
| EXIST. or EX. | EXISTING |
| ⊕ | CENTERLINE |
| PROP. | PROPOSED |
| LS | LANDSCAPE |
| RCP | REINFORCED CONCRETE PIPE |
| min | MINIMUM |
| max | MAXIMUM |
| B-B | BACK OF CURB TO BACK OF CURB |
| --- | PROPOSED FIRELANE |

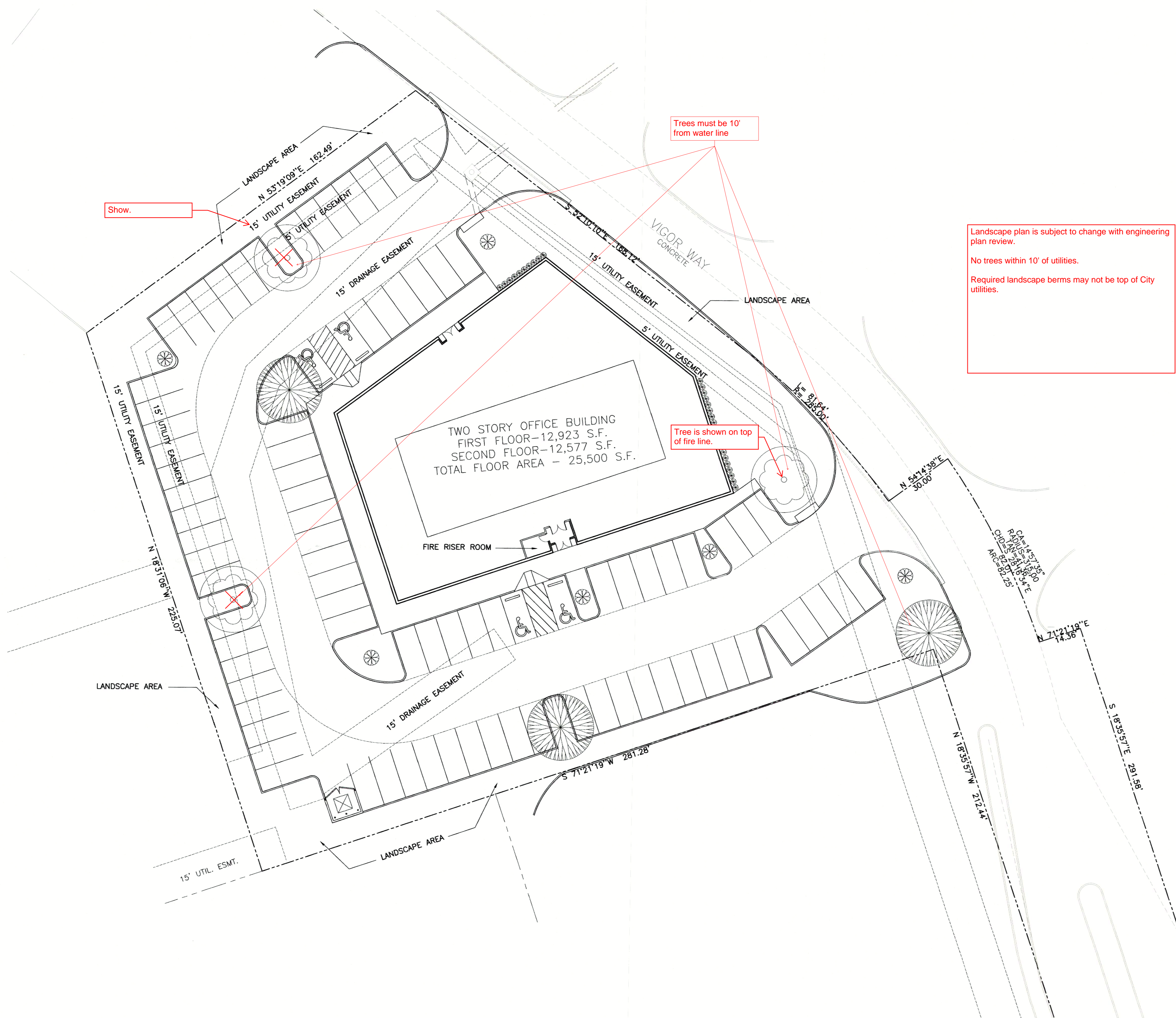
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

SITE PLAN
VIGOR WAY OFFICE
LOT 1, BLOCK A, 1.74 ACRES
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE
City of Rockwall, Rockwall County, Texas
owner
PRBBS, LLC
ATTN: BRIAN BERRY
2 ESSEX COURT
HEATH, TX 75032
prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761
© 2024 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT NO.: 2024-3 REG. NO.: F-21
date: 2/15/24 scale: 1"=20' sheet: C10



| SITE DATA TABLE | |
|---|---|
| SITE AREA | 1.44 ACRES (62,462 S.F.) |
| ZONING | COMMERCIAL |
| PROPOSED USE | OFFICE |
| BUILDING AREA: FIRST FLOOR - SECOND FLOOR - | 25,500 S.F. 12,923 S.F. 12,577 S.F. |
| LOT COVERAGE (GROSS AREA) | 17% |
| FLOOR TO AREA RATIO | |
| BUILDING HEIGHT MAX. | 36'-0" |

| LANDSCAPE TABULATION | |
|---|--------------------------|
| NET AREA | 1.44 ACRES (62,462 S.F.) |
| REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F. | 12,492 S.F. |
| PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F. | 15,750 S.F. |
| IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F. | 46,712 S.F. |

NOTES:
 - Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10".
 - No trees within 10' of public utilities 10" or greater

| TREE/SHRUB LEGEND | |
|--|---|
| TREES, INSTALLED W/ MINIMUM 4" CALIPER | |
| | CEDAR ELM |
| | BALD CYPRESS (DETENTION POND) |
| | DESERT WILLOW |
| | WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION |

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

| | |
|---|--|
| CITY OF ROCKWALL CASE NUMBER: SP2024-XXX | |
| LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 | |
| OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry | |
| APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll | |
| SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____. WITNESS OUR HANDS, this ___ day of _____. Planning & Zoning Commission, Chairman Director of Planning and Zoning | |

| | |
|------------|------------|
| ISSUE: | 02-16-2024 |
| SITE PLAN: | |

COPYRIGHT NOTICE:
 These drawings and specifications are the property of Carroll Architects, Inc. under the copyright of 17 U.S.C. sec. 102 of the copyright act. No reproduction, including, without limitation, the overall design, or any portion thereof, or any use of these drawings and specifications may be made in whole or in part, or by any building contractor, without the written consent of Carroll Architects, Inc.

NEW OFFICE DEVELOPMENT
VIGOR WAY PLAZA
 Vigor Way,
 Rockwall, Texas 75087

PRBBS, LLC.
 2 ESSEX COURT
 HEATH, TX 75032



750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

**LANDSCAPE
 SITE PLAN**

DATE: FEB 2024 SHEET NO.
 PROJECT NO: 2023100
 DRAWN BY: ZJ
 CHECKED BY:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-004**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **VIGOR WAY**

SUBDIVISION **ROCKWALL TOWNE CENTER** LOT **1** BLOCK **A**

GENERAL LOCATION **CENTERED IN VIGOR WAY BETWEEN I-30 & RIDGE RD.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial** CURRENT USE **N/A**

PROPOSED ZONING **Commercial** PROPOSED USE **OFFICE**

ACREAGE **1.74 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | |
|---|---|
| <input type="checkbox"/> OWNER PRBBS, LLC. | <input checked="" type="checkbox"/> APPLICANT CARROLL ARCH. INC. |
| CONTACT PERSON BRIAN BERRY | CONTACT PERSON JEFF CARROLL |
| ADDRESS 2 ESSEX COURT | ADDRESS 750 E. INTERSTATE 30 SUITE 110 |
| CITY, STATE & ZIP HEATH, TX 75032 | CITY, STATE & ZIP ROCKWALL, TX 75087 |
| PHONE 469.583.5976 | PHONE 214.632.1762 |
| E-MAIL bberry@lonefirm.com | E-MAIL JCE@CARROLLARCH.COM |

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

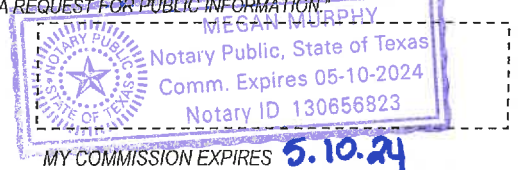
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1125 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant's OWNER'S SIGNATURE

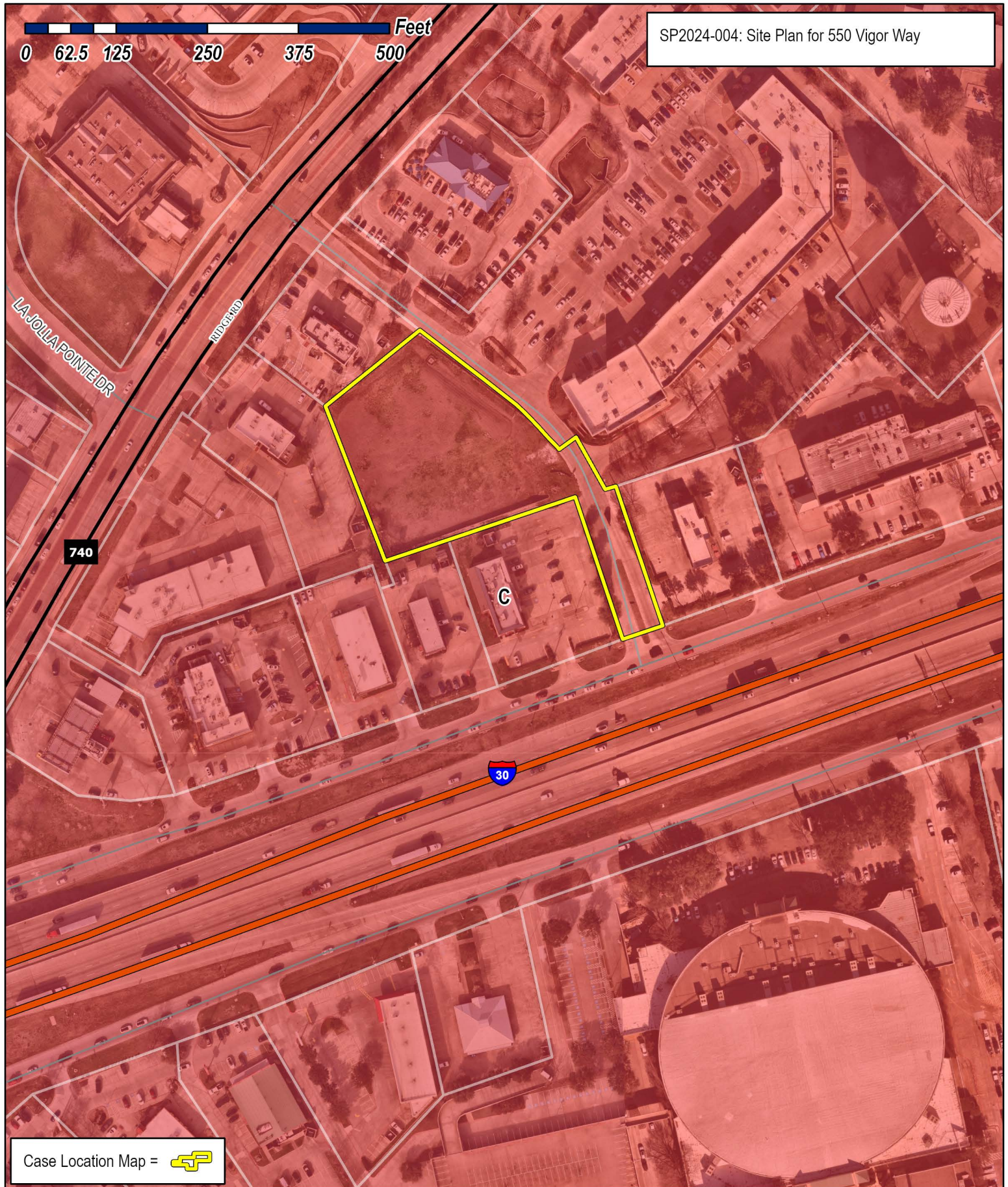
Jeff Carroll
M. Murphy


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2024-004: Site Plan for 550 Vigor Way



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

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(1) 6" VALVE
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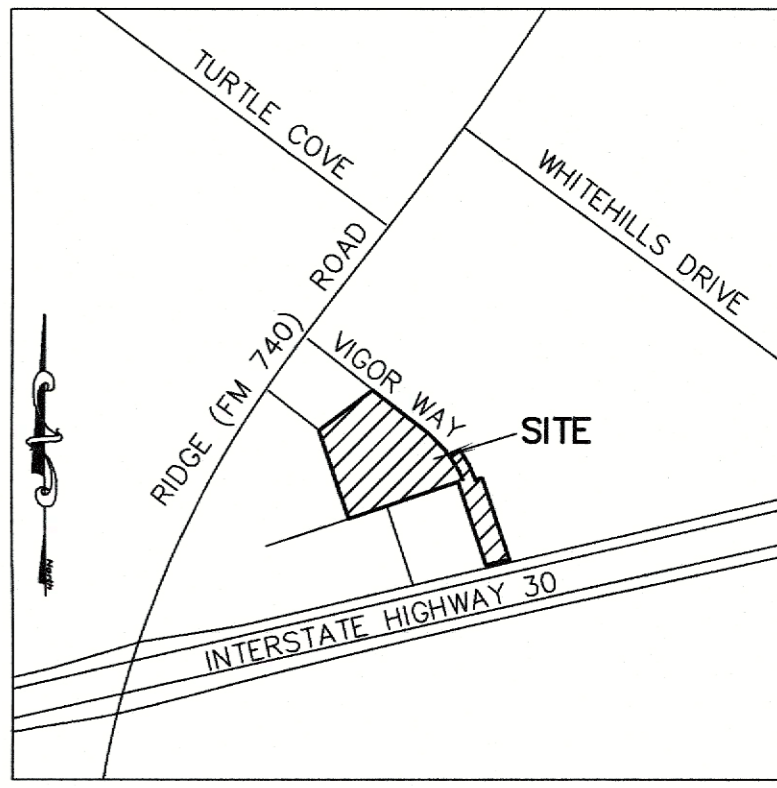
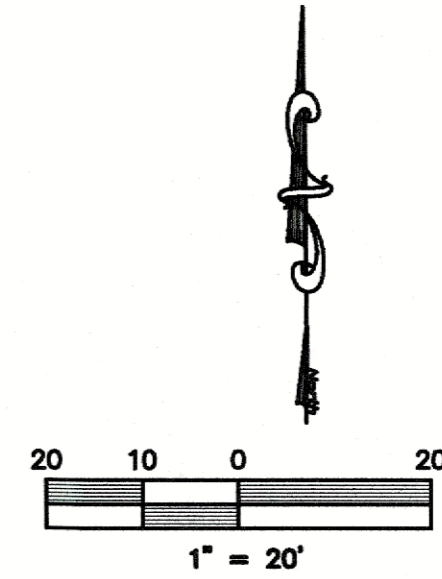
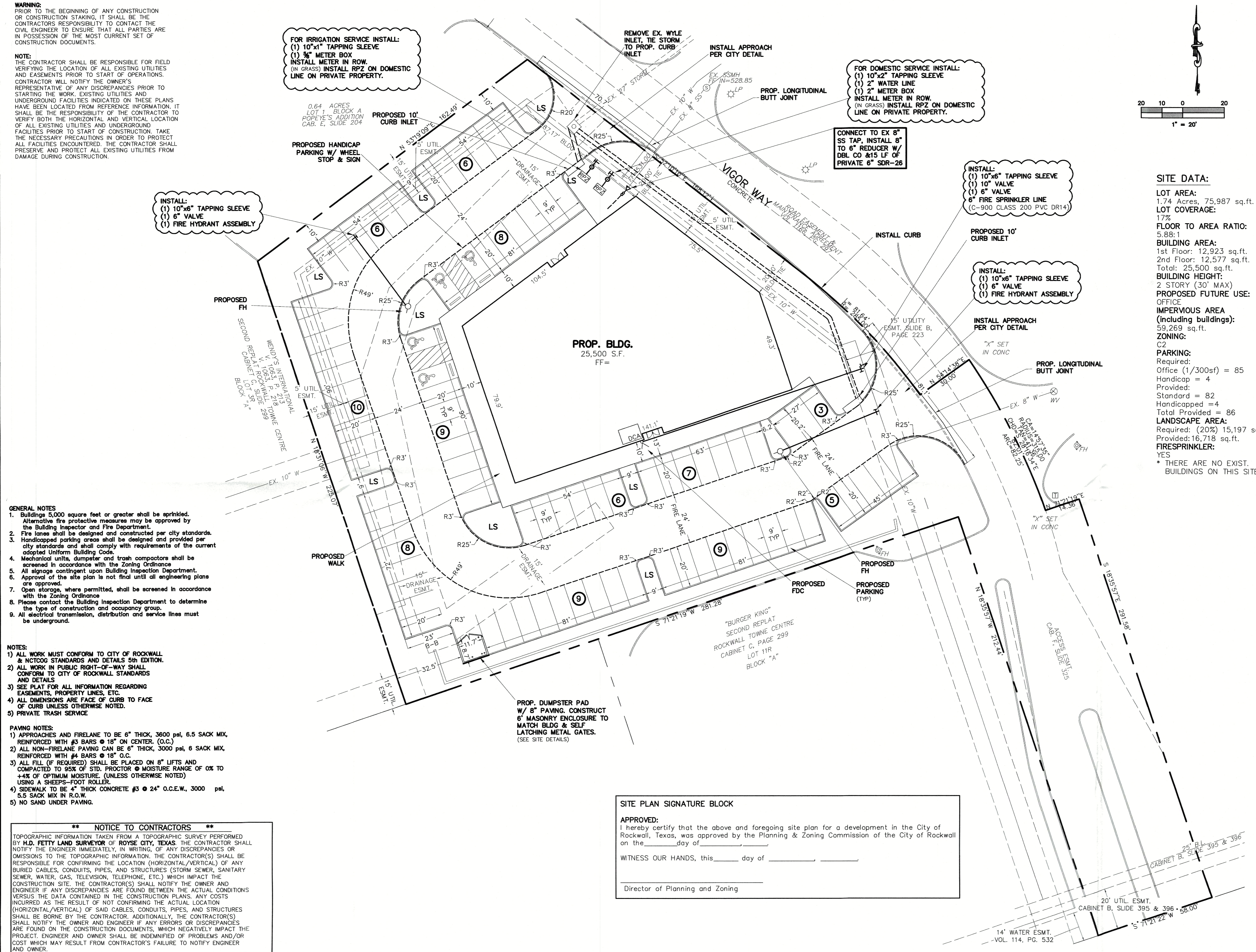
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FLOOR TO AREA RATIO:
5.88:1
BUILDING AREA:
1st Floor: 12,923 sq.ft.
2nd Floor: 12,577 sq.ft.
Total: 25,500 sq.ft.
BUILDING HEIGHT:
2 STORY (30' MAX)
PROPOSED FUTURE USE:
OFFICE
IMPERVIOUS AREA
(including buildings):
59,269 sq.ft.
ZONING:
C2
PARKING:
Required:
Office (1/300sf) = 85
Handicap = 4
Provided:
Standard = 82
Handicapped = 4
Total Provided = 86
LANDSCAPE AREA:
Required: (20%) 15,197 sq.ft.
Provided: 16,718 sq.ft.
FIRESPRINKLER:
YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ SS = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

SITE PLAN
VIGOR WAY OFFICE

LOT 1, BLOCK A, 1.74 ACRES
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE
City of Rockwall, Rockwall County, Texas

owner
PRBBS, LLC
ATTN: BRIAN BERRY
2 ESSEX COURT
HEATH, TX 75032

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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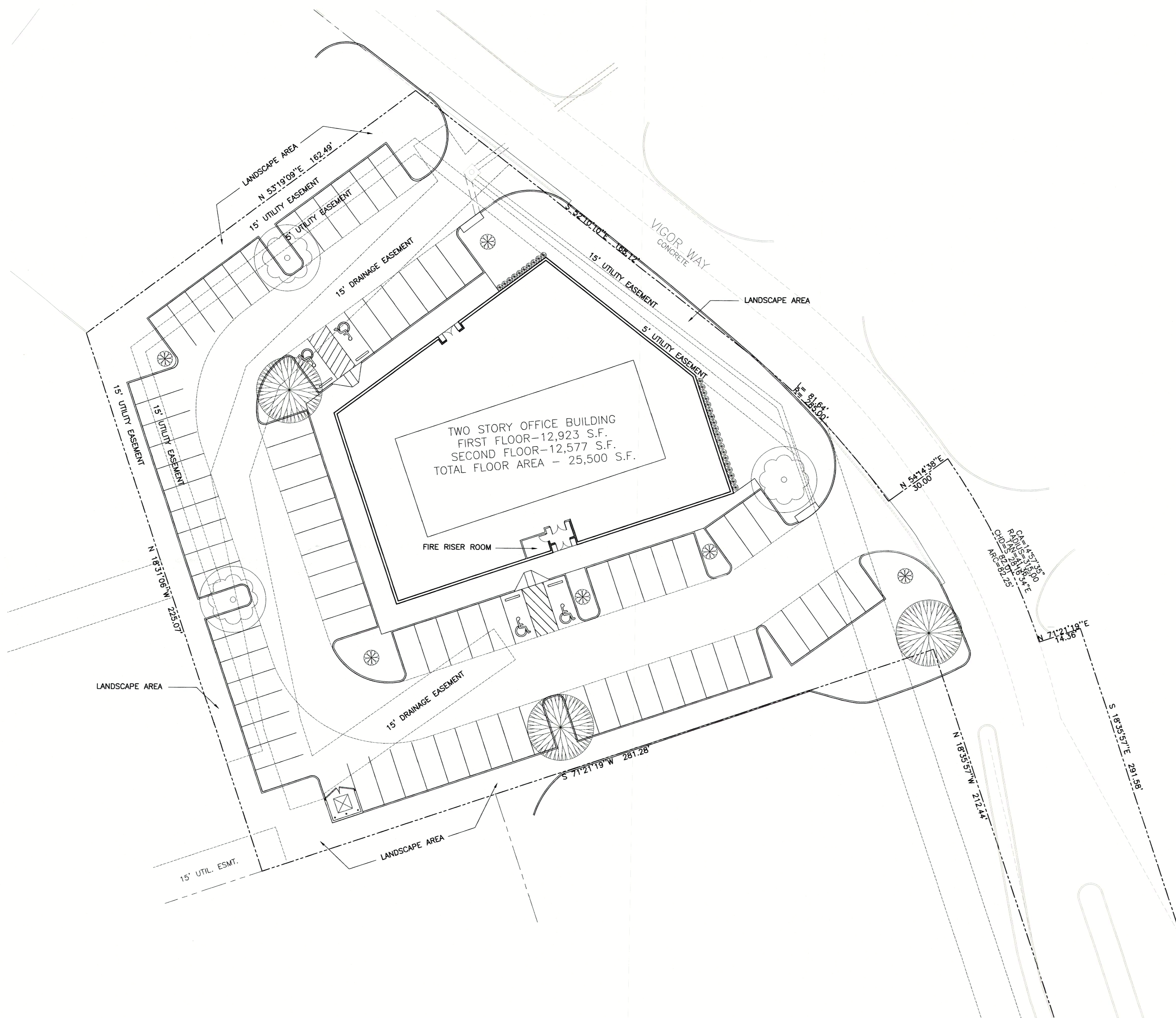
PROJECT NO.: 2024-3 REG. NO.: F-21
date: 2/15/24 scale: 1"=20'
sheet: 1 of 1

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____

Director of Planning and Zoning



| SITE DATA TABLE | |
|---|---|
| SITE AREA | 1.44 ACRES (62,462 S.F.) |
| ZONING | COMMERCIAL |
| PROPOSED USE | OFFICE |
| BUILDING AREA: FIRST FLOOR - SECOND FLOOR - | 25,500 S.F. 12,923 S.F. 12,577 S.F. |
| LOT COVERAGE (GROSS AREA) | 17% |
| FLOOR TO AREA RATIO | |
| BUILDING HEIGHT MAX. | 36'-0" |

| LANDSCAPE TABULATION | |
|---|--------------------------|
| NET AREA | 1.44 ACRES (62,462 S.F.) |
| REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F. | 12,492 S.F. |
| PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F. | 15,750 S.F. |
| IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F. | 46,712 S.F. |

| TREE/SHRUB LEGEND | |
|--|---|
| TREES, INSTALLED W/ MINIMUM 4" CALIPER | |
| | CEDAR ELM |
| | BALD CYPRESS (DETENTION POND) |
| | DESERT WILLOW |
| | WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION |

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER:
SP2024-XXX
LEGAL DESCRIPTION AND OR ADDRESS:
LOT 1, BLOCK A
REPLAT OF ROCKWALL TOWNE CENTRE
LOT 8 & LOT 9
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER
PRBBS, LLC
2 Essex Court
Heath, TX 75032
ATTN: Brian Berry

APPLICANT
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

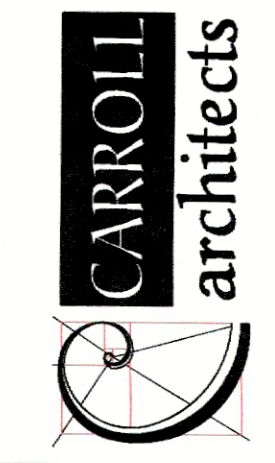
SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.
WITNESS OUR HANDS, this ___ day of _____.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

| ISSUE | DATE |
|-----------|------------|
| SITE PLAN | 02-16-2024 |

COPYRIGHT NOTICE:
These drawings and specifications are the property of Carroll Architects, Inc. and are to be used only for the project and site identified herein. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Carroll Architects, Inc.

NEW OFFICE DEVELOPMENT
VIGOR WAY PLAZA
Vigor Way,
Rockwall, Texas 75087

PRBBS, LLC
2 ESSEX COURT
HEATH, TX 75032



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**LANDSCAPE
SITE PLAN**

DATE: FEB 2024 SHEET NO.
PROJECT NO: 2023100
DRAWN BY: ZJ
CHECKED BY:
A100

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-005
PROJECT NAME: Site Plan for Ellis Centre Medical Office
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|----------------------|
| PLANNING | Bethany Ross | 02/23/2024 | Approved w/ Comments |

02/23/2024: SP2024-005; Site Plan for Ellis Centre Medical Office

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2024-005) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Site Plan

- (1) Provide the dimensions of a typical parking space. Parking spaces shall all be 9'x20', according to the City of Rockwall Engineering Standards of Design. (Subsection 05.03, of Article 06, UDC)
- (2) Indicate the centerline for Alpha Drive. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please indicate where the Chiller is located on the site plan.

M.6 Building Elevations

- (1) Provide horizontal measurements for all facades.
- (2) Indicate which building elevation is facing Alpha drive (East Elevation).
- (3) Indicate the surface area of each façade. (Subsection 04.01, of Article 05, UDC)
- (4) Indicate roof pitch. All structures (within a Light Industrial (LI) District) shall have the option of being constructed with either a pitched (minimum of 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. (Subsection 05.01.A.2, of Article 05, UDC) If the 6:12 minimum is not met, a variance from the Planning and Zoning Commission will be required.

- (5) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- (6) Subsection 06.02(C)(5) of Article 05, District Development Standards, of the UDC requires that "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." The proposed building does not meet this requirement.
- (7) Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that is 12' x 10' and utilizes the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate. Please provide a detail showing the building elevations for the dumpster enclosure (Subsection 06.02.D.7, of Article 05, UDC)

M.7 Landscape Plan

- (1) Four (4) Canopy trees and four (4) accent trees are required within the landscape buffer along Alpha Drive. A berm is also required. (Subsection 06.02.E, Article 05, UDC)
- (2) Provide a note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08, UDC) Provide the surface area for the detention basin. There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08, UDC)

M.8 Photometric Plan

- 1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one footcandle. At the north property line, there is a reading of 0.3 FC. Please revise to meet the UDC requirements. (Subsection 03.03.C, of Article 07, UDC)

M.9 Based on the materials submitted staff has identified the following variances for this project:

- (1) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), Four (4) Sided Architecture, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building, specifically, the projections. Given the proposed building elevations and landscape plan, the applicant does not meet the articulation requirements or tree requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Primary Articulation. Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on March 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 27, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 12, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|---------------|----------------|----------------------|
| ENGINEERING | Madelyn Price | 02/23/2024 | Approved w/ Comments |

- 02/23/2024: 1. If this becomes a dumpster an oil/water separator will be required.
 2. Review City's trash enclosure dimensions.
 3. Business to the south is using this area for dumpster.
 4. Needs to be in a 20' easement.
 5. If you have a dumpster it will be 7" thick.
 6. Sanitary sewer service must connect to a manhole. If an existing manhole cannot be used, a new manhole must be installed by the developer.
 7. Service crossing of Alpha must be by bore. No open cut.
 8. All drainage must outfall toward Alpha's existing storm system. Detention pond on the high side of the site may be difficult to have the entire site drain against grade to get to the detention system.
 9. All trees must be 10' from 12" water line.
 10. In conflict with fire hydrant.
 11. Landscape plan is subject to change with engineering plan review.
 12. No Trees within 5' of any public City utility less than 10" in diameter and trees must be 10' of any public City utility 10" or larger.
 13. Landscape berm may not be located on top of City utilities.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|--------------|----------------|-------------------|
| BUILDING | Craig Foshee | 02/22/2024 | Approved |
| No Comments | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|--|----------------|----------------|----------------------|
| FIRE | Ariana Kistner | 02/21/2024 | Approved w/ Comments |
| 02/21/2024: The off-site fire lane shall be platted if not already done. | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|-----------------|----------------|-------------------|
| GIS | Lance Singleton | 02/20/2024 | Approved |
| No Comments | | | |

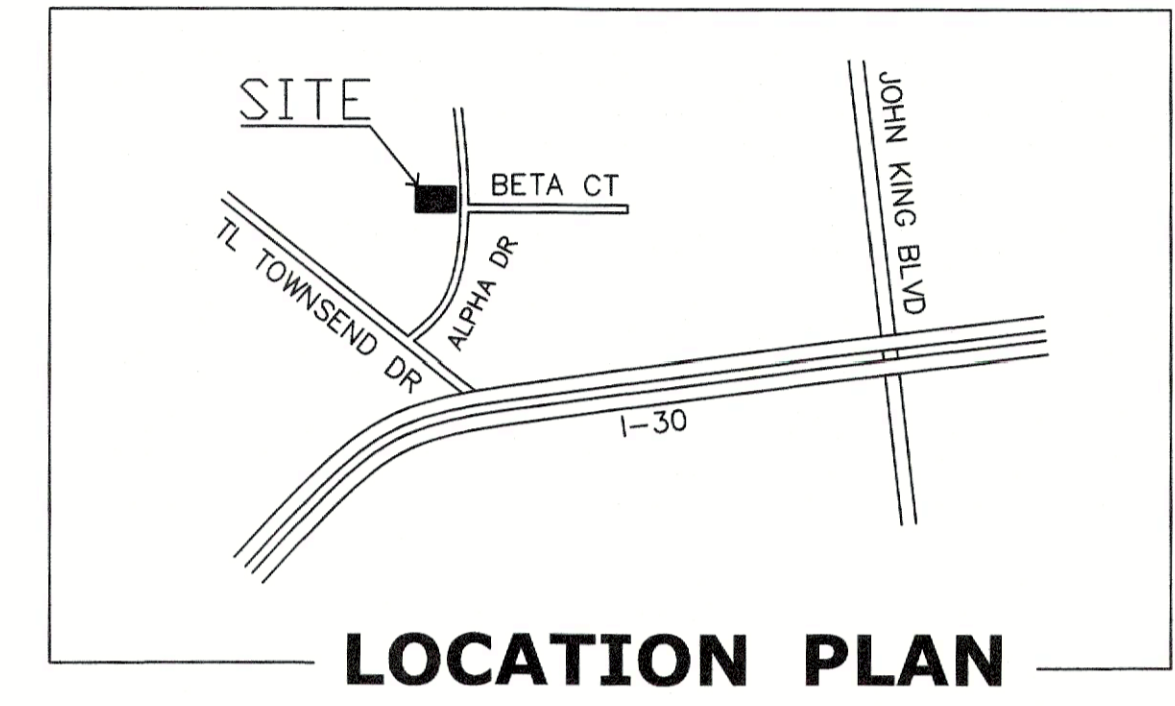
| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|-----------------|----------------|-------------------|
| POLICE | Chris Cleveland | 02/20/2024 | Approved |
| No Comments | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|--------------|----------------|-------------------|
| PARKS | Travis Sales | 02/20/2024 | Approved |
| No Comments | | | |

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
1. ZONING: L I
 2. PROPOSED USE: MEDICAL OFFICE
 3. PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
 4. BUILDING AREA: 7,200 SF
 5. BUILDING HEIGHT: ONE STORY - 28'-3"
 6. LOT COVERAGE: 23.6% F.A.R. = 0.236:1
 7. PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
 8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
 9. TOTAL PARKING PROVIDED: 36 SPACES
 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
 11. 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADI ARE 2'-0" U.N.O.
ANY DISCREPANCIES BETWEEN THE PLAN &
THE CIVIL ENGINEER'S PLANS SHALL DEFER
TO THE CIVIL ENGINEER.



SITE PLAN SIGNATURE BLOCK

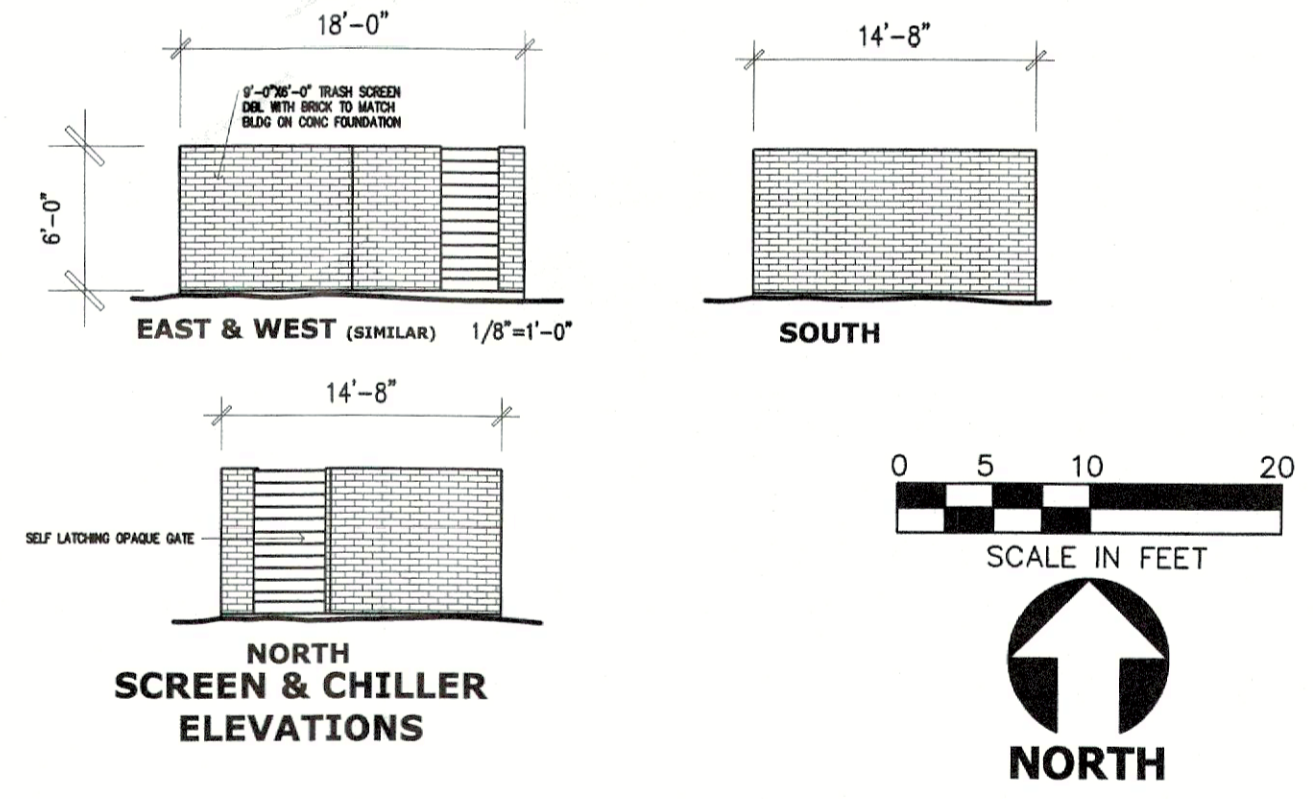
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____ 2024.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NOTE: DUMPSTER PAVING AND FIRE LANE PAVING SHALL BE MIN. 6" THICK, 3600 PSI CONCRETE 6.5 SACK MIX



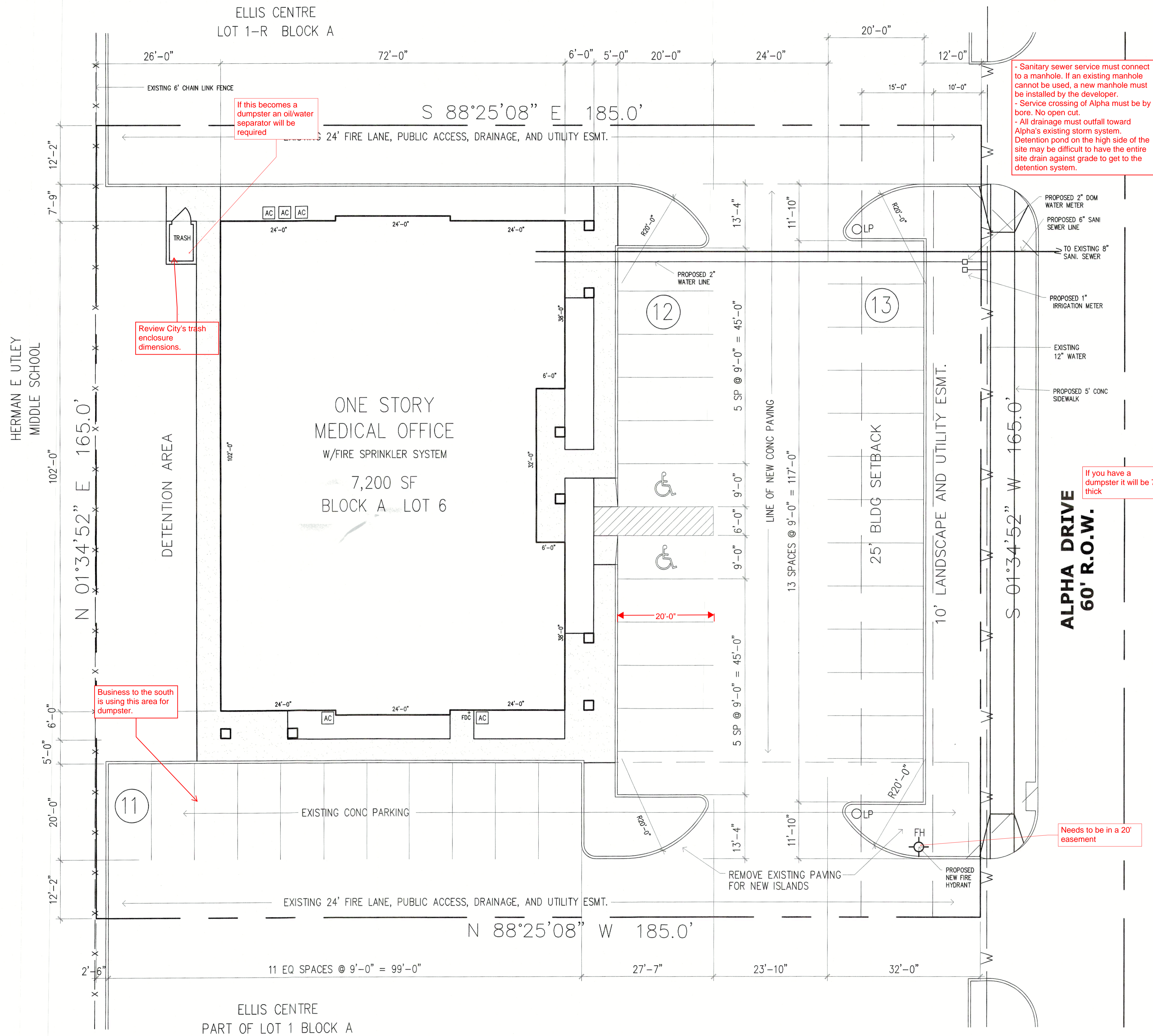
PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTRE INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
486 ARCADIA WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS



CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
132 BERKSHIRE LANE
WAKARUSCHIE, TEXAS 75165
PHONE: 817-235-9253

| No. | Date | By | Revision |
|-----|------|----|----------|
| | | | |
| | | | |
| | | | |



ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

SHEET
A1 OF
17

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

| | REQUIRED | PROVIDED |
|--|----------|----------|
| 1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W. | 3 | 5 |
| 2. LANDSCAPE BUFFER | 10' | 10' |
| 3. SCREENING OF OFF STREET PARKING | NO | NO |
| 4. TOTAL LANDSCAPE AREA 15% REQUIRED | 4,580 SF | 5,973 SF |
| 5. 4 TREES REQUIRED AT REAR OF PROPERTY | 4 | 4 |

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
 - PROPOSED USE: MEDICAL OFFICE
 - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
 - BUILDING AREA: 7,200 SF
 - BUILDING HEIGHT: ONE STORY - 28'-3"
 - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
 - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
 - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
 - TOTAL PARKING PROVIDED: 36 SPACES
 - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
 - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

THERE IS NO MITIGATION FOR THIS PROPERTY

- LIVE OAKS (15)
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (17)
MIN 4' TALL
- INDIAN HAWTHORNE (90)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (126)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SOODED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

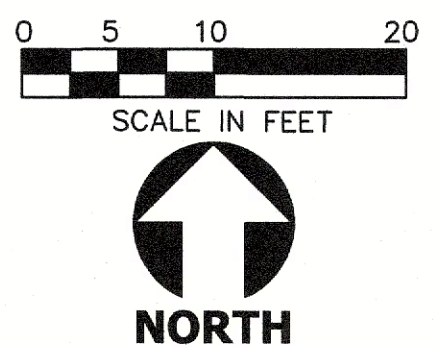
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SOODED

- Landscape plan is subject to change with engineering plan review.

- No Trees within 5' of any public City utility less than 10" in diameter and trees must be 10' of any public City utility 10" or larger.

- Landscape berm may not be located on top of City utilities.



PRICING & CONSTRUCTION
GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
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488 BUCKLEBAY WAY
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CASE #SP2020-010

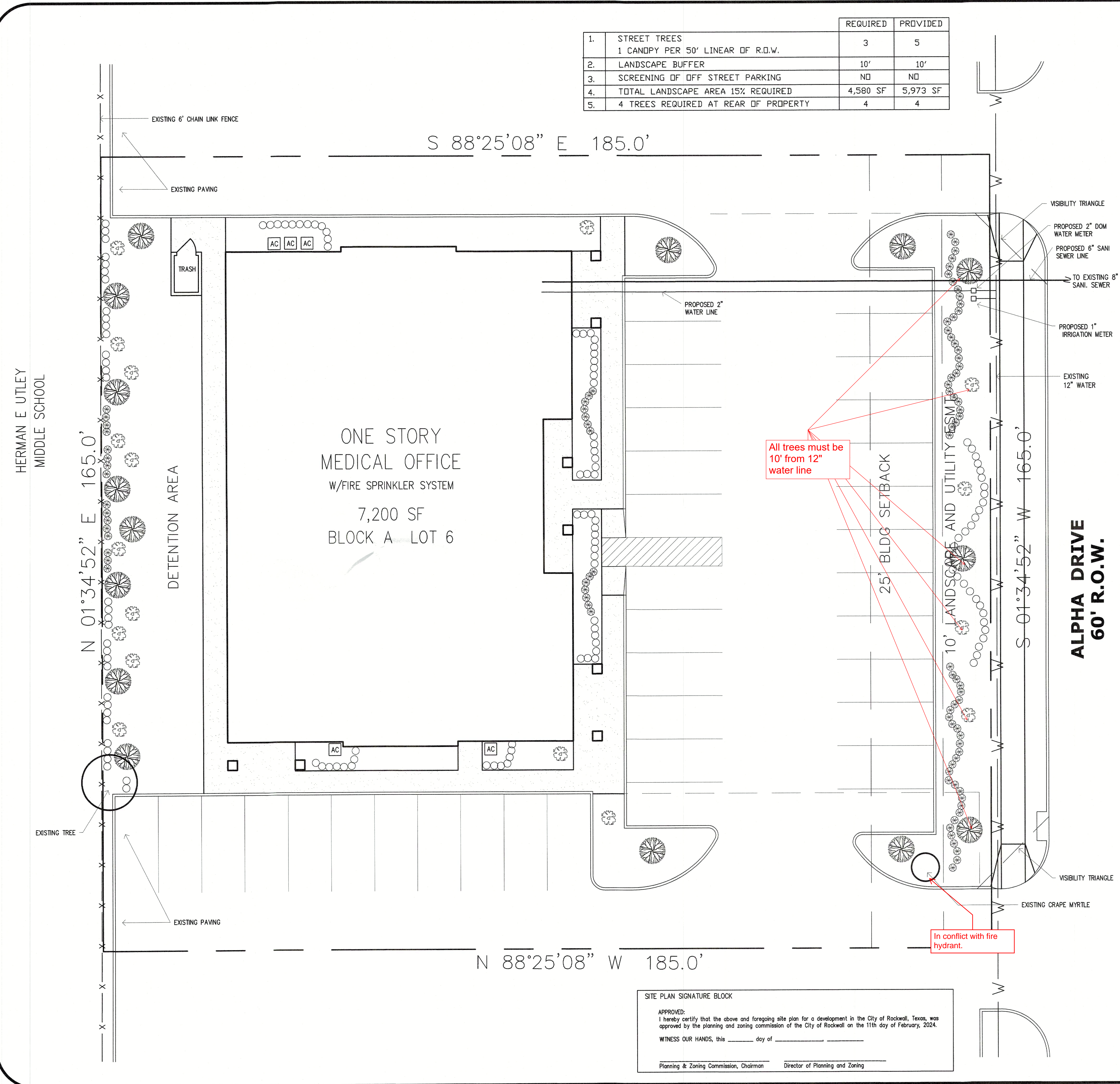
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2024.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



HERMAN E UTLEY
MIDDLE SCHOOL

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL

WALLIS ASSOCIATES

139 BERKSHIRE LANE
WAKAHACHE, TEXAS 75165
PHONE: 817-235-9253

ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS

LANDSCAPE PLAN

Scale: 1" = 10'-0"

Date: 2/16/2024

Project No.: 200204

Designed: GW

Drawn: GW

Checked: GW

SHEET 1 OF 1

© COPYRIGHT 2022 WALLIS ARCHITECTS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS ALPHA DRIVE

SUBDIVISION ELLIS CENTER INDUSTRIAL PARK #2 LOT 6 BLOCK A

GENERAL LOCATION ALFA DR & BETA WAY

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE N/A

PROPOSED ZONING LI

PROPOSED USE MEDICAL USE

ACREAGE 0.70 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER VEDANTA ESTATES, LLC. APPLICANT CARROLL ARCH. INC.

CONTACT PERSON AKHIL VATS

CONTACT PERSON JEFF CARROLL

ADDRESS 482 ACADIA WAY

ADDRESS 750 E. INTERSTATE 30 #110

CITY, STATE & ZIP ROCKWALL, TX. 75087

CITY, STATE & ZIP ROCKWALL TX 75087

PHONE 817.235.9253

PHONE 214.632.1762

E-MAIL WALLISASSOCIATES@gmail.com

E-MAIL JC@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

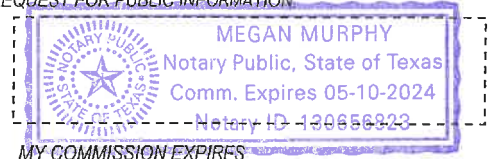
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll ^{Applicant} [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

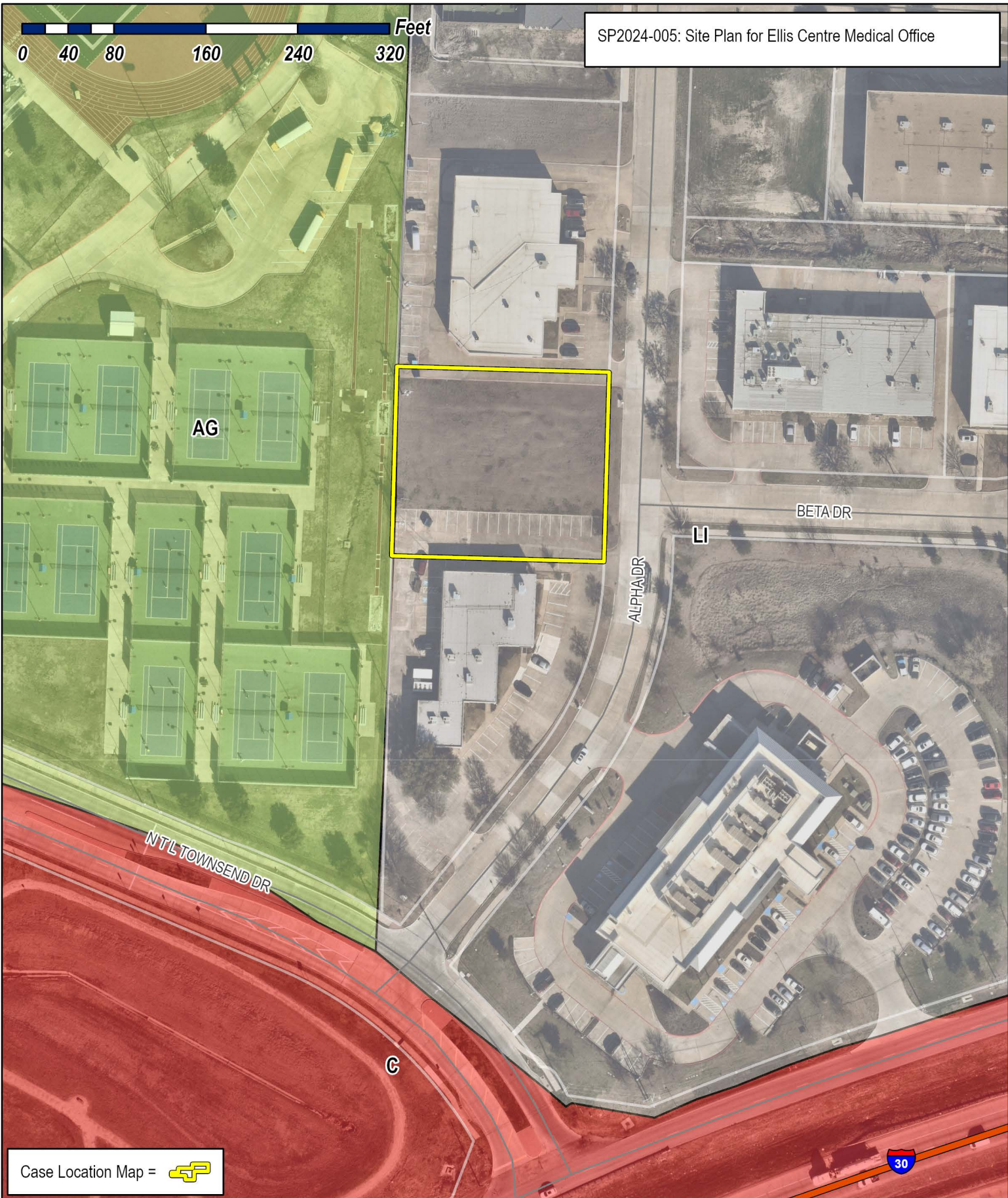
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant OWNER'S SIGNATURE Jeff Carroll

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



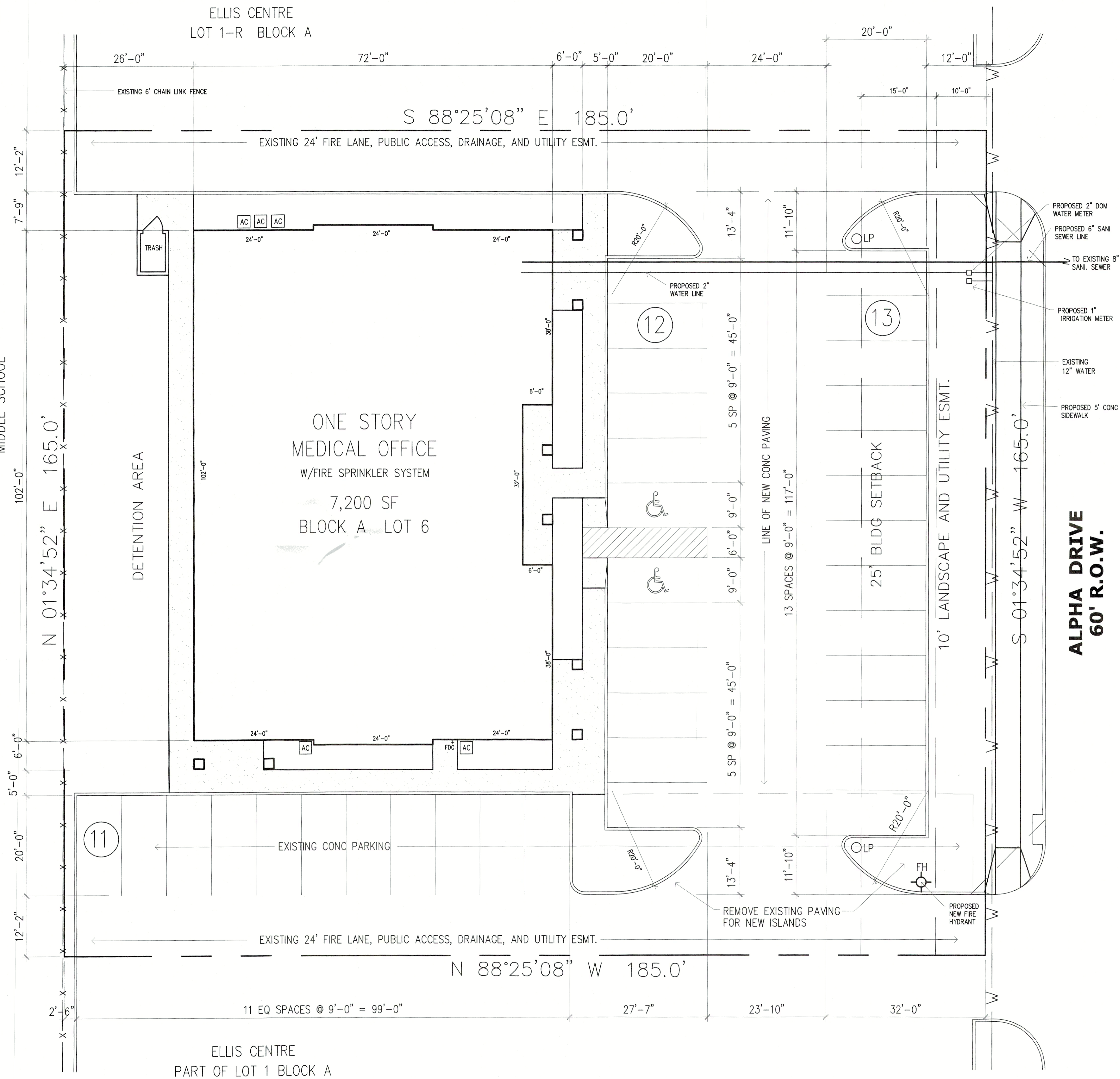
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



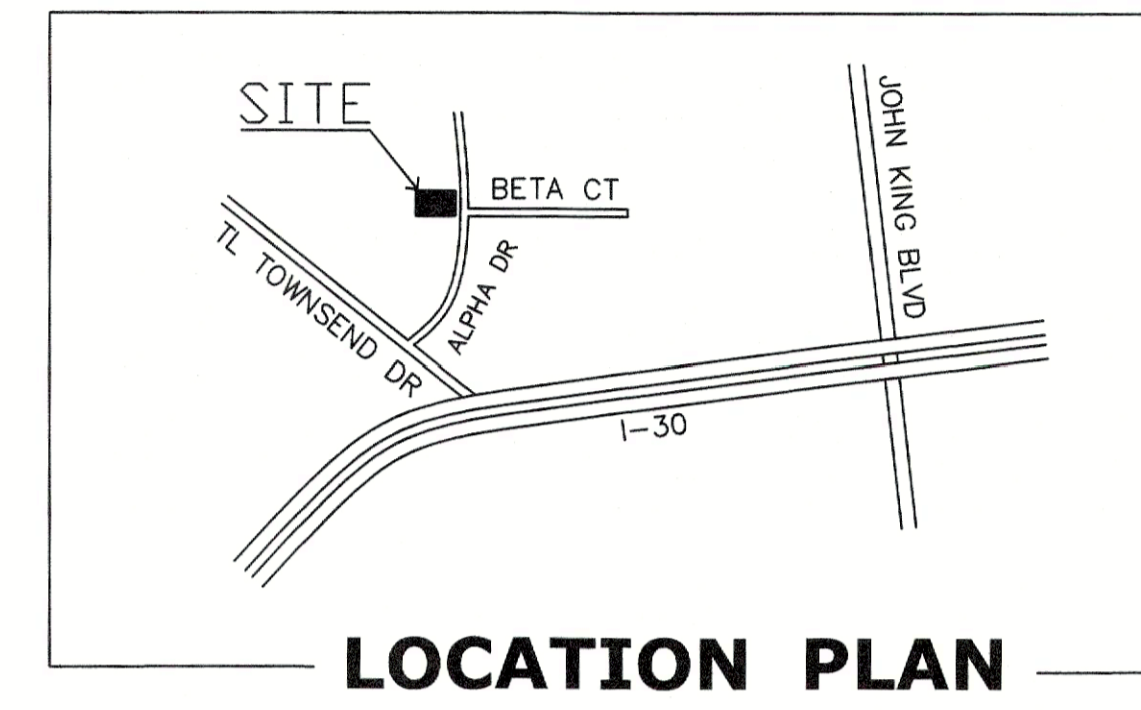
HERMAN E UTLEY
MIDDLE SCHOOL



CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
1. ZONING: L I
 2. PROPOSED USE: MEDICAL OFFICE
 3. PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
 4. BUILDING AREA: 7,200 SF
 5. BUILDING HEIGHT: ONE STORY - 28'-3"
 6. LOT COVERAGE: 23.6% F.A.R. = 0.236:1
 7. PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
 8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
 9. TOTAL PARKING PROVIDED: 36 SPACES
 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
 11. 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADI ARE 2'-0" U.N.O.
ANY DISCREPANCIES BETWEEN THE PLAN &
THE CIVIL ENGINEER'S PLANS SHALL REFER
TO THE CIVIL ENGINEER.



SITE PLAN SIGNATURE BLOCK

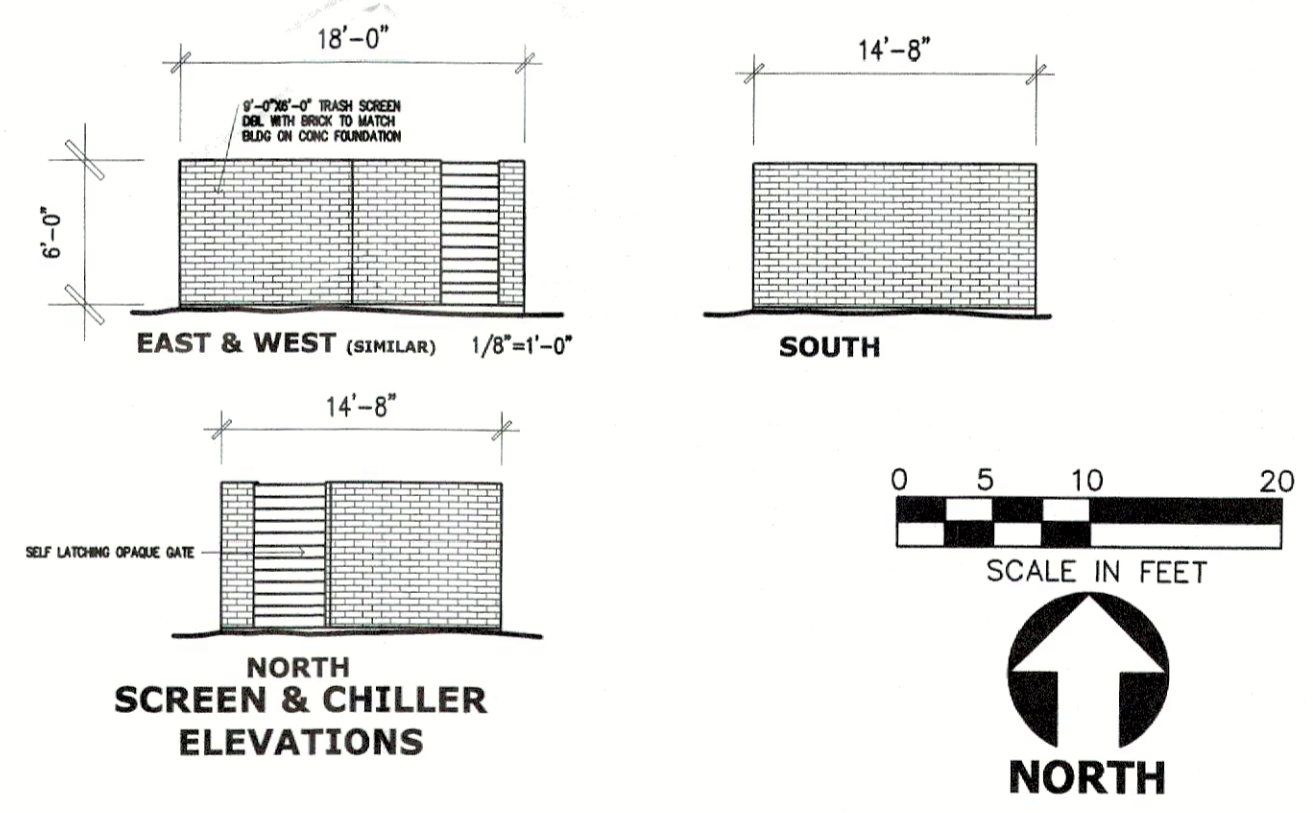
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____ 2024.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NOTE: DUMPSTER PAVING AND FIRE LANE PAVING SHALL BE MIN. 6" THICK, 3600 PSI CONCRETE 6.5 SACK MIX



PRICING & CONSTRUCTION
GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
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6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTRE
INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED
IN THE ELLIS CENTRE #2 INDUSTRIAL PARK
LOT 6 BLOCK A IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
486 ARCADIA WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
132 BERKSHIRE LANE
WAKARUSCHIE, TEXAS 75165
PHONE: 817-235-9253

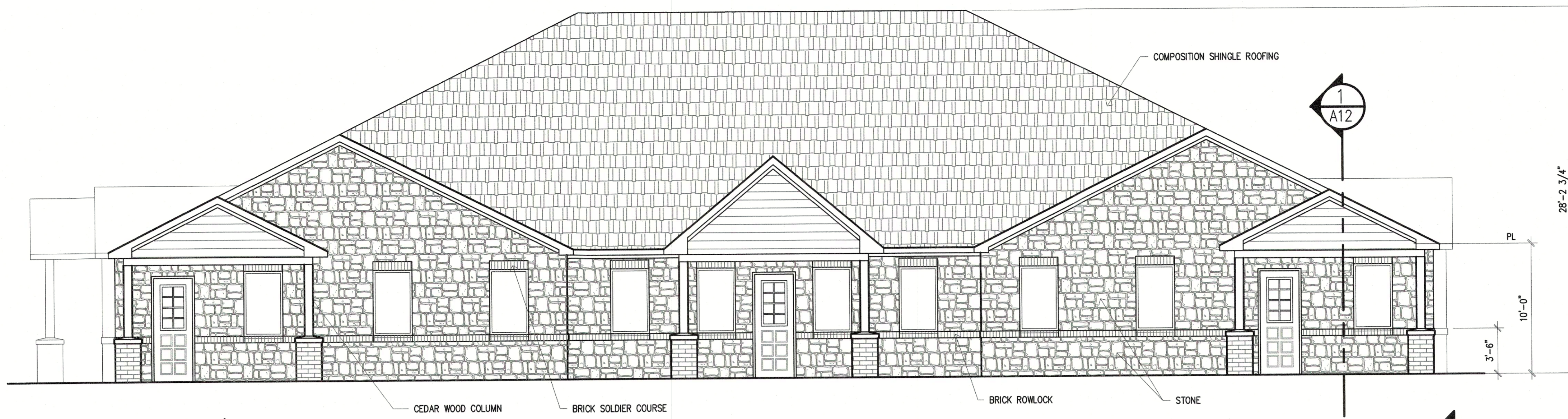
| No. | Date | Revision | By |
|-----|------|----------|----|
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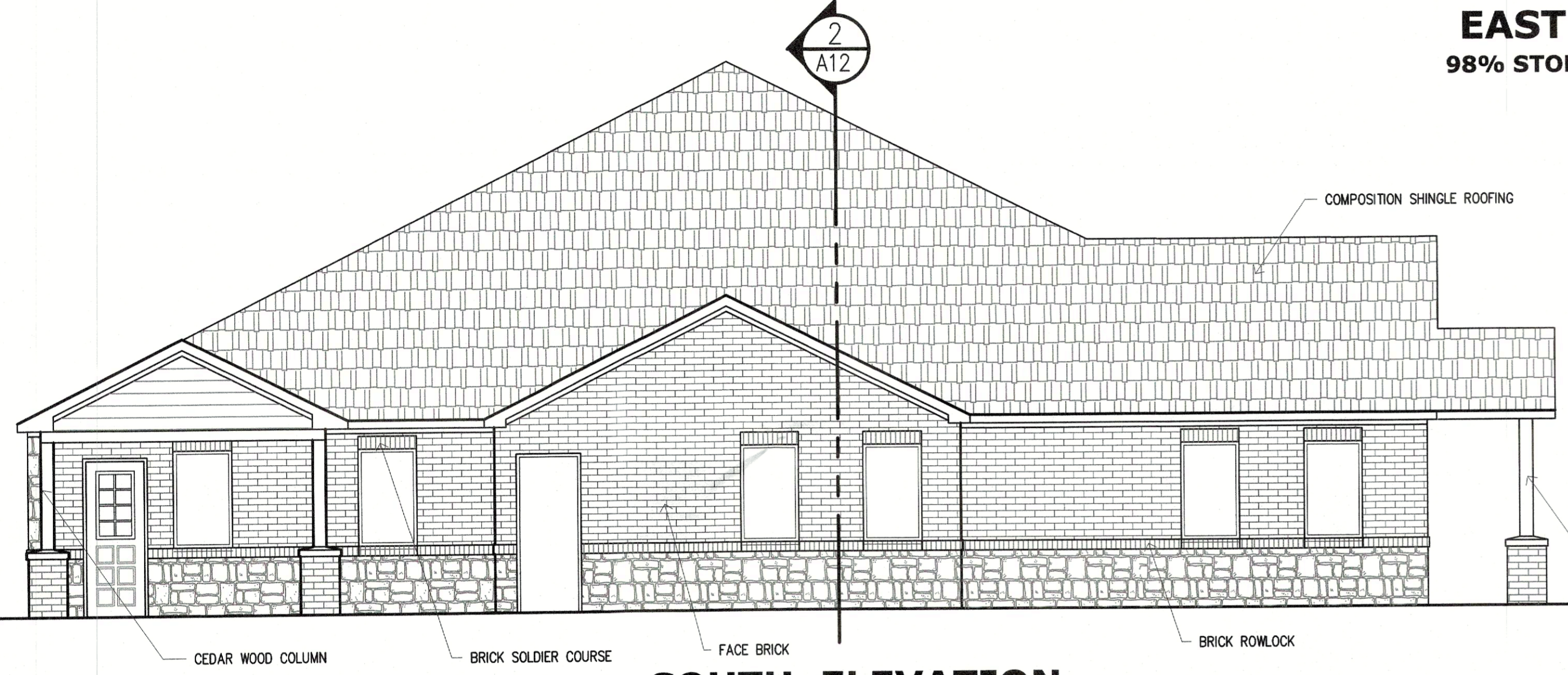
ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS
SITE PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

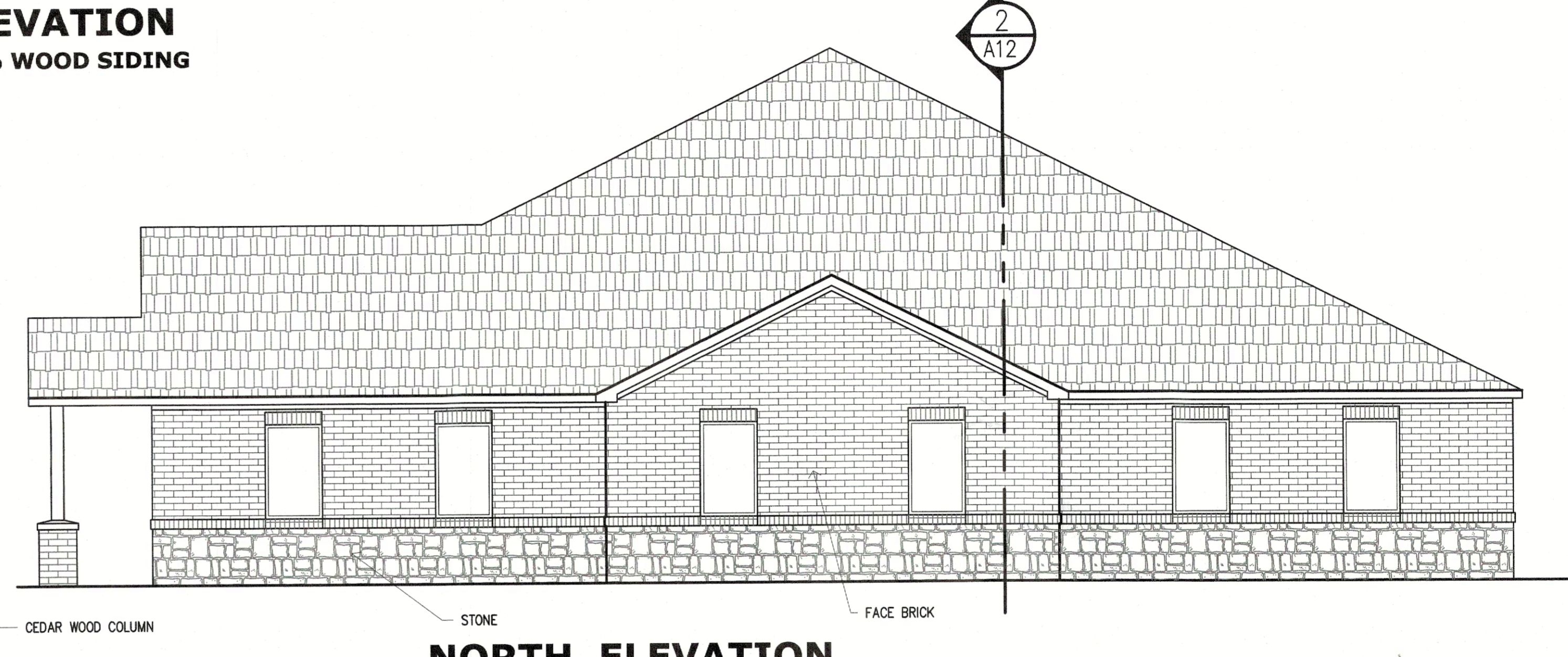
SHEET
A1 OF
17



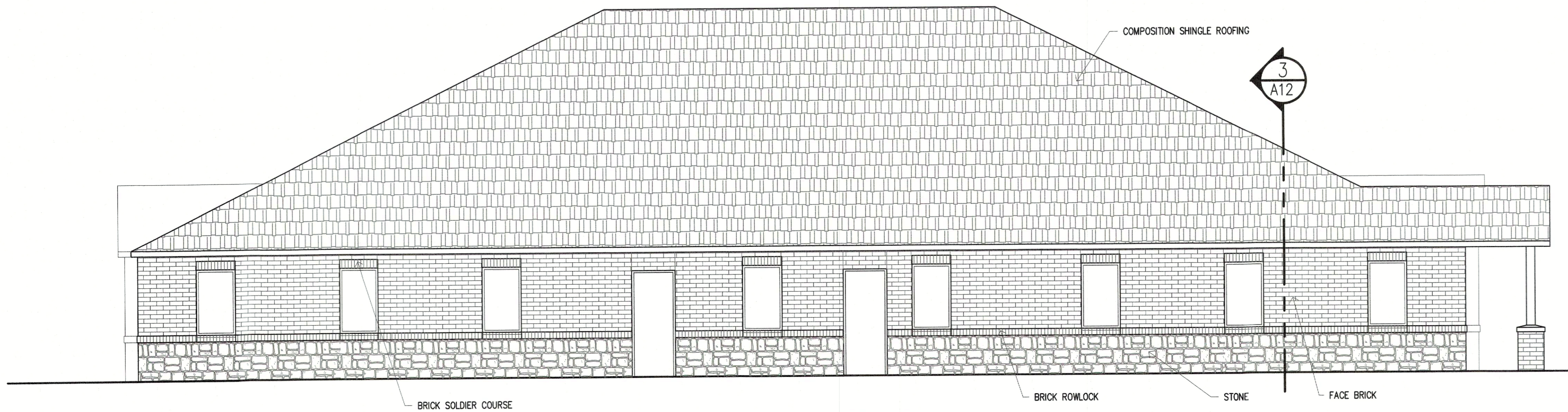
EAST ELEVATION
98% STONE 2% WOOD SIDING



SOUTH ELEVATION
30% STONE 4% WOOD SIDING 66% BRICK



NORTH ELEVATION
31% STONE 69% BRICK



WEST ELEVATION
35% STONE 65% BRICK

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the _____ day of _____, 2024.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman Director of Planning and Zoning

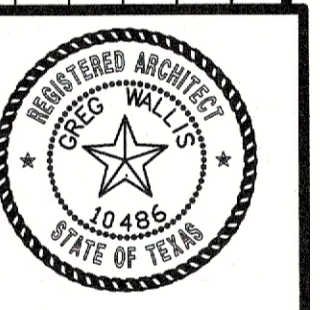
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6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER
ADAT ESTATE LLC
488 ARCADIA WAY
ROCKWALL, TEXAS 75087
CASE #SP2024-000

© COPYRIGHT 2022 WALLIS ARCHITECTS

| No. | Date | By | Revision |
|-----|------|----|----------|
| | | | |



Scale: 3/16" = 1'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW









CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

| | REQUIRED | PROVIDED |
|--|----------|----------|
| 1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W. | 3 | 5 |
| 2. LANDSCAPE BUFFER | 10' | 10' |
| 3. SCREENING OF OFF STREET PARKING | NO | NO |
| 4. TOTAL LANDSCAPE AREA 15% REQUIRED | 4,580 SF | 5,973 SF |
| 5. 4 TREES REQUIRED AT REAR OF PROPERTY | 4 | 4 |

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
 - PROPOSED USE: MEDICAL OFFICE
 - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
 - BUILDING AREA: 7,200 SF
 - BUILDING HEIGHT: ONE STORY - 28'-3"
 - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
 - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
 - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
 - TOTAL PARKING PROVIDED: 36 SPACES
 - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
 - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

THERE IS NO MITIGATION FOR THIS PROPERTY

- LIVE OAKS (15)
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (17)
MIN 4' TALL
- INDIAN HAWTHORNE (90)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (126)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SODDED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SODDED

HERMAN E UTLEY
MIDDLE SCHOOL

N 01°34'52" E 165.0'

DETENTION AREA

ONE STORY
MEDICAL OFFICE
W/FIRE SPRINKLER SYSTEM
7,200 SF
BLOCK A LOT 6

25' BLDG SETBACK

S 01°34'52" W 165.0'

ALPHA DRIVE
60' R.O.W.

N 88°25'08" W 185.0'

S 88°25'08" E 185.0'

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2024.

WITNESS OUR HANDS, this _____ day of _____

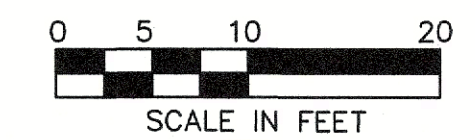
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ELLIS CENTRE INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
4800 ROCKWALL WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS



PRICING & CONSTRUCTION
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CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
1379 BERKSHIRE LANE
WAKAHACHE, TEXAS 75165
PHONE: 817-235-9253

| No. | Date | By | Revision |
|-----|------|----|----------|
| | | | |
| | | | |
| | | | |



ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS
LANDSCAPE PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

SHEET
11 OF
1

| Luminaire Schedule | | | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor | |
|--------------------|------|-----|---|-------------------|----------------|-------------------|---------------------|-------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | 12359 | 138 | 1.000 | 0.808 | 1.000 |
| LP | | 2 | LITHONIA_DSX1 LED P5 40K TFTM VOLTAGE MOUNTING HS FINISH | | | | | |
| WP | | 5 | LITHONI_WDGE1 LED P2 40K 80CRI VF VOLTAGE MOUNTING FINISH | 1979 | 15.0178 | 1.000 | 0.808 | 1.000 |

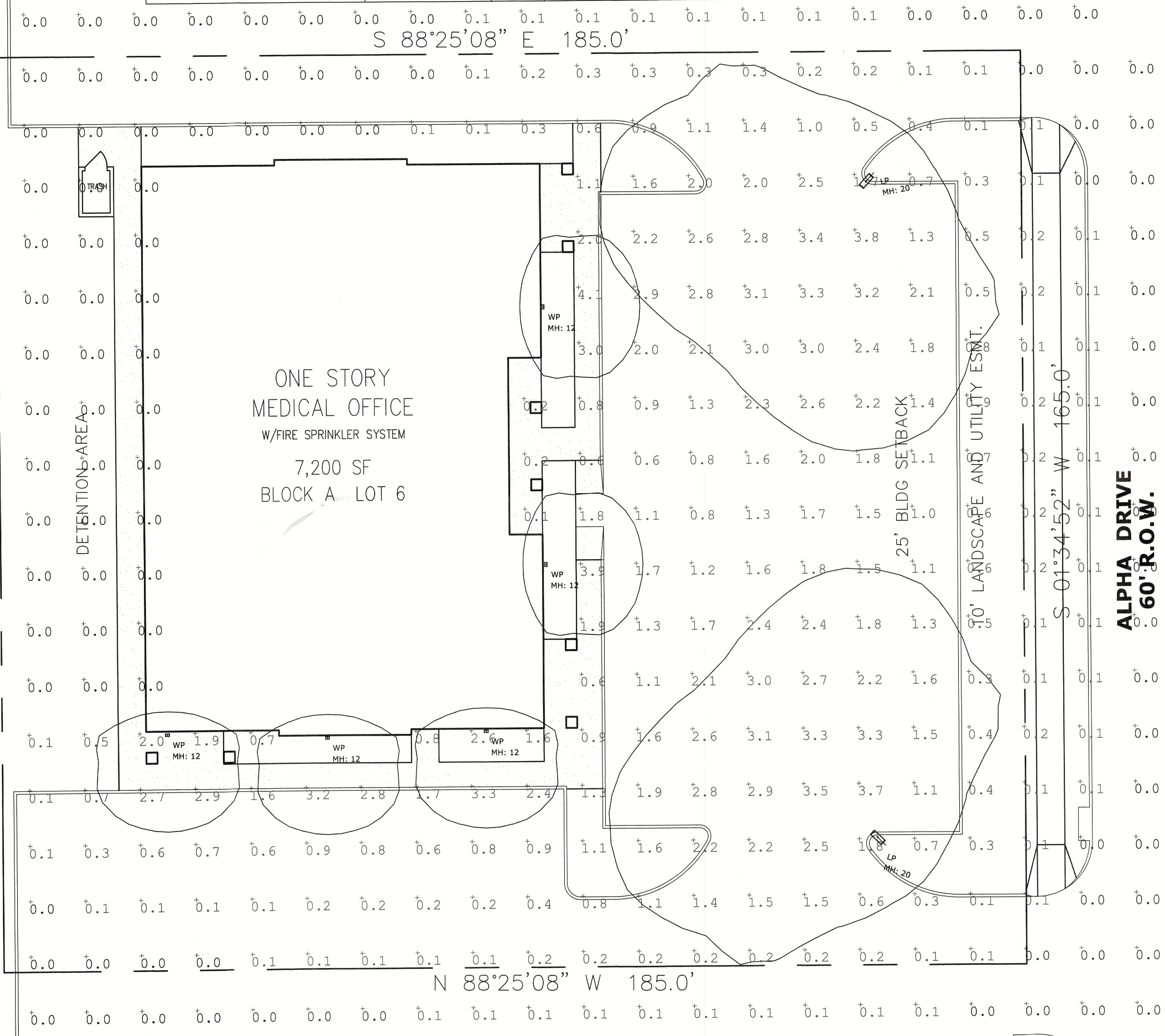
| Calculation Summary | | | | | | |
|---------------------------|--------------------|-------|------|-----|-----|---------|
| Calculation Grid Location | Calc. Height (Ft.) | Units | Avg | Max | Min | Avg/Min |
| GRADE_Planar | 0 | Fc | 0.29 | 4.1 | 0.0 | N.A. |
| PARKING LOT & DRIVEWAY | | Fc | 1.45 | 3.7 | 0.0 | N.A. |

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

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HERMAN E UTLEY
MIDDLE SCHOOL

N 01°34'52" E 165.0'



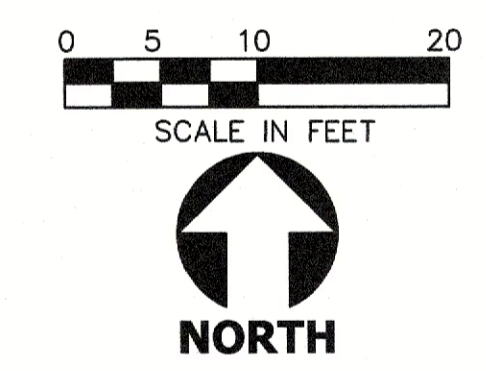
SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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ELLIS CENTRE
INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED
IN THE ELLIS CENTRE #2 INDUSTRIAL PARK
LOT 6 BLOCK A IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
402 BRIDGEMAN WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
132 BERKSHIRE LANE
WAXAHACHE, TEXAS 75165
PHONE: 817-236-9253

| No. | Date | Revision | By |
|-----|------|----------|----|
| | | | |
| | | | |
| | | | |



ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS
PHOTOMETRIC PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

SHEET
AP1 OF
1



WDGE1 LED

Architectural Wall Sconce

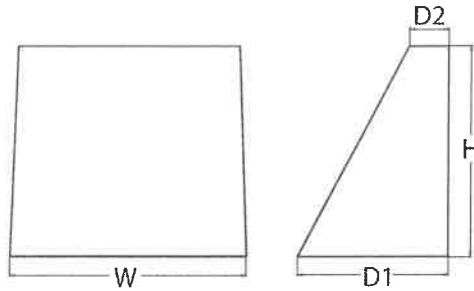


| |
|----------------|
| Catalog Number |
| Notes |
| Type |

© 2019-2020 Acuity Brands Lighting, Inc. All rights reserved.

Specifications

| | |
|------------------------------|-------|
| Depth (D1): | 5.5" |
| Depth (D2): | 1.5" |
| Height: | 8" |
| Width: | 9" |
| Weight: (without options) | 9 lbs |



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Sensor | Lumens (4000K) | | | | | |
|-----------|------------------|----------------|---------------------|----------------|--------|--------|--------|--------|--------|
| | | | | P1 | P2 | P3 | P4 | P5 | P6 |
| WDGE1 LED | 4W | -- | -- | 1,200 | 2,000 | -- | -- | -- | -- |
| WDGE2 LED | 10W | 18W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | -- |
| WDGE3 LED | 15W | 18W | Standalone / nLight | 7,500 | 8,500 | 10,000 | 12,000 | -- | -- |
| WDGE4 LED | -- | -- | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 |

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

| Series | Package | Color Temperature | CRI | Distribution | Voltage | Mounting |
|-----------|----------|------------------------|-------|---------------------------------|------------------|--|
| WDGE1 LED | P1 P2 | 27K 2700K | 80CRI | VF Visual comfort forward throw | MVOLT | Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry) |
| | | 30K 3000K | 90CRI | VW Visual comfort wide | 347 ² | |
| | | 35K 3500K | | | | |
| | | 40K 4000K | | | | |
| | | 50K ¹ 5000K | | | | |

| Options | Finish |
|---|----------------------------------|
| E4WH ³ Emergency battery backup, CEC compliant (4W, 0°C min) | DDBXD Dark bronze |
| PE ⁴ Photocell, Button Type | DBLXD Black |
| DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) | DNAXD Natural aluminum |
| DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) | DWHXD White |
| BCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points. | DSSXD Sandstone |
| | DDBTXD Textured dark bronze |
| | DBLTXD Textured black |
| | DNATXD Textured natural aluminum |
| | DWHGXD Textured white |
| | DSSTXD Textured sandstone |

Accessories

Ordered and shipped separately

| | |
|-------------------|---|
| WDGEAWS DDBXD U | WDGE 3/8inch Architectural Wall Spacer (specify finish) |
| WDGE1PBBW DDBXD U | WDGE1 Premium surface-mounted back box (specify finish) |
| WSBBW DDBXD U | Surface-mounted back box (specify finish) |

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
 Rev. 04/15/20

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance Package | System Watts | Dist. Type | 27K (2700K, 80 CRI) | | | | | 30K (3000K, 80 CRI) | | | | | 35K (3500K, 80 CRI) | | | | | 40K (4000K, 80 CRI) | | | | | 50K (5000K, 80 CRI) | | | | |
|---------------------|--------------|------------|---------------------|-----|---|---|---|---------------------|-----|---|---|---|---------------------|-----|---|---|---|---------------------|-----|---|---|---|---------------------|-----|---|---|---|
| | | | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G |
| P1 | 10W | VF | 1,120 | 112 | 0 | 0 | 0 | 1,161 | 116 | 0 | 0 | 0 | 1,194 | 119 | 0 | 0 | 0 | 1,227 | 123 | 0 | 0 | 0 | 1,235 | 123 | 0 | 0 | 0 |
| | | VW | 1,122 | 112 | 0 | 0 | 0 | 1,163 | 116 | 0 | 0 | 0 | 1,196 | 120 | 0 | 0 | 0 | 1,229 | 123 | 0 | 0 | 0 | 1,237 | 124 | 0 | 0 | 0 |
| P2 | 15W | VF | 1,806 | 120 | 1 | 0 | 0 | 1,872 | 125 | 1 | 0 | 0 | 1,925 | 128 | 1 | 0 | 0 | 1,978 | 132 | 1 | 0 | 0 | 1,992 | 133 | 1 | 0 | 0 |
| | | VW | 1,809 | 120 | 1 | 0 | 0 | 1,876 | 125 | 1 | 0 | 0 | 1,929 | 128 | 1 | 0 | 0 | 1,982 | 132 | 1 | 0 | 0 | 1,996 | 133 | 1 | 0 | 0 |

Electrical Load

| Performance Package | System Watts | Current (A) | | | | |
|---------------------|--------------|-------------|-------|-------|-------|-------|
| | | 120V | 208V | 240V | 277V | 347V |
| P1 | 10W | 0.082 | 0.049 | 0.043 | 0.038 | -- |
| | 13W | -- | -- | -- | -- | 0.046 |
| P2 | 15W | 0.132 | 0.081 | 0.072 | 0.064 | -- |
| | 18W | -- | -- | -- | -- | 0.056 |

Lumen Multiplier for 90CRI

| CCT | Multiplier |
|-----|------------|
| 27K | 0.845 |
| 30K | 0.867 |
| 35K | 0.845 |
| 40K | 0.885 |
| 50K | 0.898 |

Lumen Output in Emergency Mode (4000K, 80 CRI)

| Option | Dist. Type | Lumens |
|--------|------------|--------|
| E4WH | VF | 646 |
| | VW | 647 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|--------------|------------------|
| 0°C / 32°F | 1.03 |
| 10°C / 50°F | 1.02 |
| 20°C / 68°F | 1.01 |
| 25°C / 77°F | 1.00 |
| 30°C / 86°F | 0.99 |
| 40°C / 104°F | 0.98 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | >0.96 | >0.95 | >0.91 |

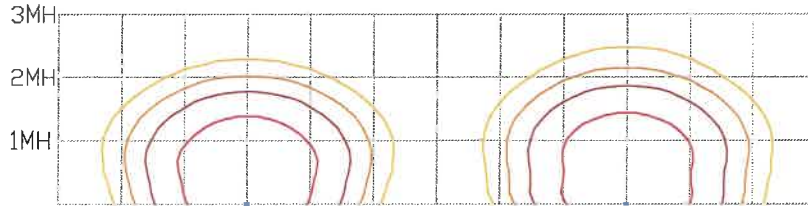
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

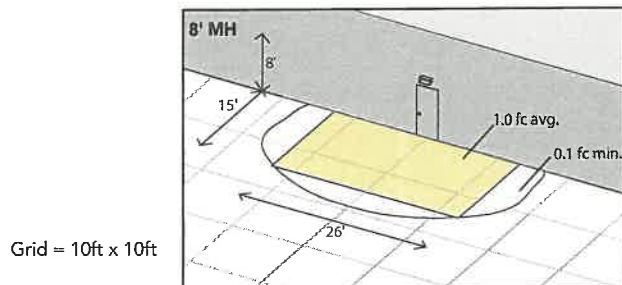
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

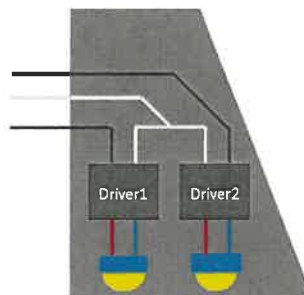


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



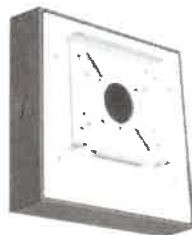


E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Premium Back Box

D = 1.75"

H = 8"

W = 9"



BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



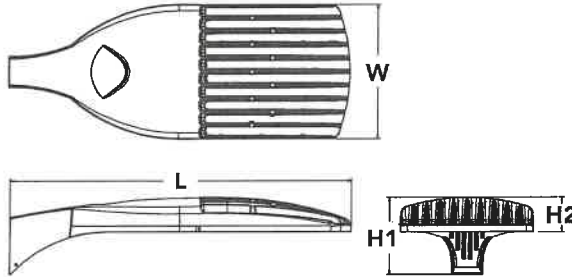
D-Series Size 1 LED Area Luminaire

d^{series}



Specifications

| | |
|----------------------|--|
| EPA: | 1.01 ft ² (0.09 m ²) |
| Length: | 33" (83.8 cm) |
| Width: | 13" (33.0 cm) |
| Height H1: | 7-1/2" (19.0 cm) |
| Height H2: | 3-1/2" |
| Weight (max): | 27 lbs (12.2 kg) |



| |
|----------------|
| Catalog Number |
| Notes |
| Type |

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

| DSX1 LED | | | | | | | | | |
|----------|-----------------------------------|-------------------|--------|--------------|---------------------------|---------|----------------------------------|--------------------|--|
| Series | LEDs | Color temperature | | Distribution | | Voltage | Mounting | | |
| DSX1 LED | Forward optics | 30K | 3000 K | T1S | Type I short (Automotive) | T5VS | Type V very short ² | MVOLT ⁴ | Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket ² SPUMBA Square pole universal mounting adaptor ⁶ RPUMBA Round pole universal mounting adaptor ⁵ |
| | P1 P4 P7 | 40K | 4000 K | T2S | Type II short | T5S | Type V short ² | 120 ⁵ | |
| | P2 P5 P8 | 50K | 5000 K | T2M | Type II medium | T5M | Type V medium ² | 208 ⁵ | |
| | P3 P6 P9 | | | T2W | Type V wide ² | T5W | Type V wide ² | 240 ⁵ | |
| DSX1 LED | Rotated optics | | | T3S | Type III short | BLC | Backlight control ³ | 277 ⁵ | Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁷ |
| | P10 ¹ P12 ¹ | | | T3M | Type III medium | LCCO | Left corner cutoff ³ | 347 ⁵ | |
| | P11 ¹ P13 ¹ | | | T4M | Type IV medium | RCCO | Right corner cutoff ³ | 480 ⁵ | |
| | | | | TFTM | Forward throw medium | | | | |

| Control options | | Other options | | Finish (featured) | | | |
|--------------------------|---|--------------------------|---|---------------------------|---|--------|---------------------------|
| Shipped installed | | Shipped installed | | Shipped installed | | | |
| NLTAIR2 | nLight AIR generation 2 enabled ⁸ | PIR | High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{16,17} | HS | House-side shield ¹⁸ | DDBXD | Dark bronze |
| PIRHN | Network, high/low motion/ambient sensor ⁹ | PIRH | High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{16,17} | SF | Single fuse (120, 277, 347V) ⁵ | DBLXD | Black |
| PER | NEMA twist-lock receptacle only (controls ordered separate) ¹⁰ | PIR1FC3V | High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{16,17} | DF | Double fuse (208, 240, 480V) ⁵ | DNAXD | Natural aluminum |
| PER5 | Five-pin receptacle only (controls ordered separate) ^{10,12} | PIRH1FC3V | Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{16,17} | L90 | Left rotated optics ¹ | DWHXD | White |
| PER7 | Seven-pin receptacle only (controls ordered separate) ^{10,11} | FAO | Field adjustable output ¹⁵ | R90 | Right rotated optics ¹ | DDBTXD | Textured dark bronze |
| DMG | 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹³ | | | Shipped separately | | DBLBXD | Textured black |
| DS | Dual switching ^{13,14,15} | | | BS | Bird spikes ¹⁹ | DNATXD | Textured natural aluminum |
| | | | | EGS | External glare shield | DWHGXD | Textured white |



Ordering Information

Accessories

Ordered and shipped separately.

| | |
|--------------------|---|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) ²⁰ |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) ²⁰ |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) ²⁰ |
| DSHORT SBK U | Shorting cap ²⁰ |
| DSX1HS 30C U | House-side shield for P1, P2, P3, P4 and P5 ¹⁸ |
| DSX1HS 40C U | House-side shield for P6 and P7 ¹⁸ |
| DSX1HS 60C U | House-side shield for P8, P9, P10, P11 and P12 ¹⁸ |
| PUMBA DDBXD U* | Square and round pole universal mounting bracket (specify finish) ²¹ |
| KMA8 DDBXD U | Mast arm mounting bracket adaptor (specify finish) ⁷ |
| DSX1EGS (FINISH) U | External glare shield |

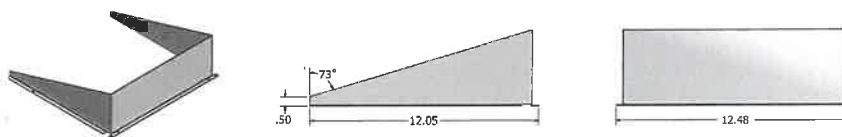
For more control options, visit [DLT](#) and [ROAM](#) online.

NOTES

- 1 P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- 2 Any Type 5 distribution with photocell, is not available with WBA.
- 3 Not available with HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 6 Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31.
- 7 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- 8 Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 9 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 10 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- 11 If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- 12 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- 13 Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- 14 Requires (2) separately switched circuits with isolated neutral. See Outdoor Control Technical Guide for details.
- 15 Reference Motion Sensor table on page 4.
- 16 Reference controls options table on page 4 to see functionality.
- 17 Not available with other dimming controls options
- 18 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 19 Must be ordered with fixture for factory pre-drilling.
- 20 Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- 21 For retrofit use only.

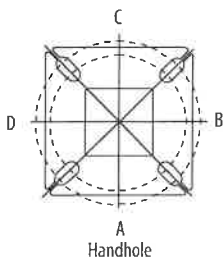
Options

EGS - External Glare Shield



Drilling

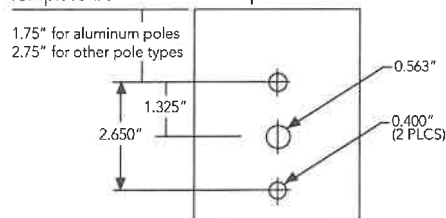
HANDHOLE ORIENTATION



Tenon Mounting Slipfitter**

| Tenon O.D. | Mounting | Single Unit | 2 @ 180 | 2 @ 90 | 3 @ 120 | 3 @ 90 | 4 @ 90 |
|------------|----------|-------------|-----------|-----------|-----------|-----------|-----------|
| 2-3/8" | SPA/RPA | AS3-5 190 | AS3-5 280 | AS3-5 290 | AS3-5 320 | AS3-5 390 | AS3-5 490 |
| | SPUMBA | AS3-5 190 | AS3-5 280 | AS4-5 290 | AS3-5 320 | AS4-5 390 | AS4-5 490 |
| | RUPUMBA | AS3-5 190 | AS3-5 280 | | AS3-5 320 | | |
| 2-7/8" | SPA/RPA | AST25-190 | AST25-280 | AST25-290 | AST25-320 | AST25-390 | AST25-490 |
| | SPUMBA | AST25-190 | AST25-280 | | AST25-320 | | |
| | RUPUMBA | AST25-190 | AST25-280 | | AST25-320 | | |
| 4" | SPA/RPA | AST35-190 | AST35-280 | AST35-290 | AST35-320 | AST35-390 | AST35-490 |
| | SPUMBA | AST35-190 | AST35-280 | AST35-290 | AST35-320 | AST35-390 | AST35-490 |
| | RUPUMBA | AST35-190 | AST35-280 | | AST35-320 | | |

Template #8



| Mounting Option | Drilling Template | Single | 2 @ 180 | 2 @ 90 | 3 @ 90 | 3 @ 120 | 4 @ 90 |
|--------------------|-------------------|--------|------------|------------|---------------|-----------------|------------------|
| Head Location | | Side B | Side B & D | Side B & C | Side B, C & D | Round Pole Only | Side A, B, C & D |
| Drill Nomenclature | #8 | DM19AS | DM28AS | DM29AS | DM39AS | DM32AS | DM49AS |

| | Drilling Template | Minimum Acceptable Outside Pole Dimension | | | | | |
|--------|-------------------|---|--------|------|------|------|------|
| SPA | #8 | 2-7/8" | 2-7/8" | 3.5" | 3.5" | 3" | 3.5" |
| RPA | #8 | 2-7/8" | 2-7/8" | 3.5" | 3.5" | 3" | 3.5" |
| SPUMBA | #5 | 2-7/8" | 3" | 4" | 4" | 3.5" | 4" |
| RPUMBA | #5 | 2-7/8" | 3.5" | 5" | 5" | 3.5" | 5" |

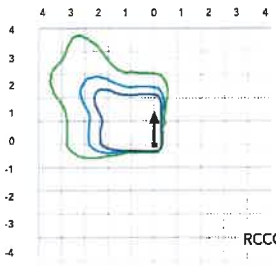
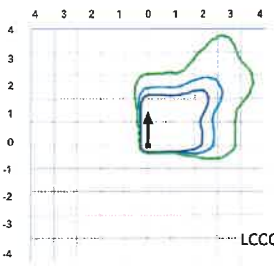
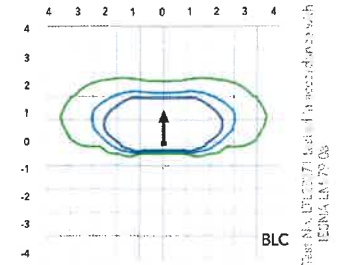
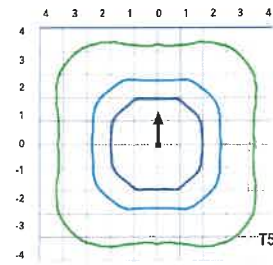
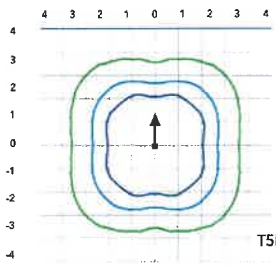
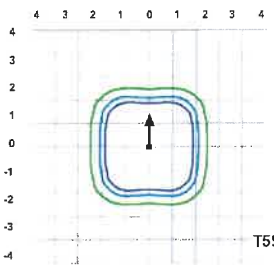
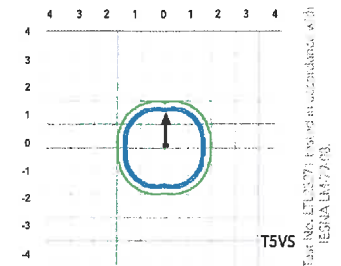
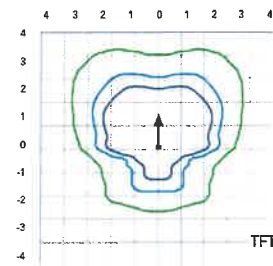
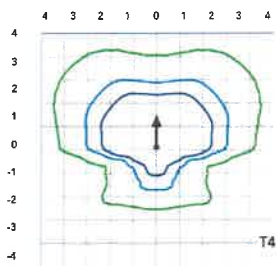
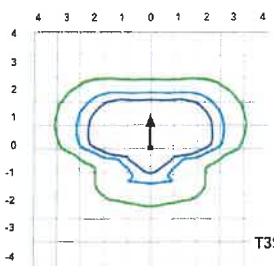
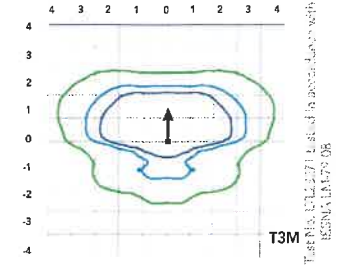
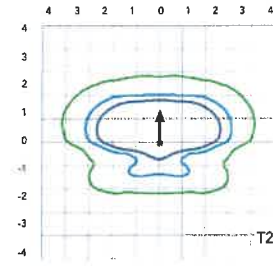
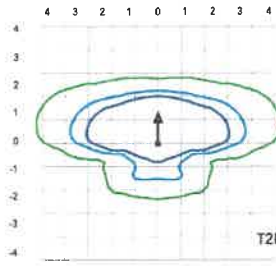
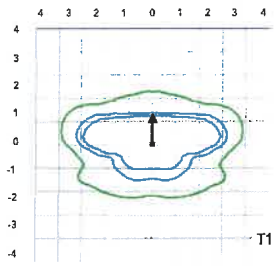
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

LEGEND

- 0.1 fc
- 0.5 fc
- 1.0 fc



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|-------------|------------------|
| 0°C | 1.04 |
| 5°C | 1.04 |
| 10°C | 1.03 |
| 15°C | 1.02 |
| 20°C | 1.01 |
| 25°C | 1.00 |
| 30°C | 0.99 |
| 35°C | 0.98 |
| 40°C | 0.97 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | Lumen Maintenance Factor |
|-----------------|--------------------------|
| 0 | 1.00 |
| 25,000 | 0.96 |
| 50,000 | 0.92 |
| 100,000 | 0.85 |

Motion Sensor Default Settings

| Option | Dimmed State | High Level (when triggered) | Photocell Operation | Dwell Time | Ramp-up Time | Ramp-down Time |
|------------------------|-----------------|-----------------------------|---------------------|------------|--------------|----------------|
| PIR or PIRH | 3V (37%) Output | 10V (100%) Output | Enabled @ 5FC | 5 min | 3 sec | 5 min |
| *PIR1FC3V or PIRH1FC3V | 3V (37%) Output | 10V (100%) Output | Enabled @ 1FC | 5 min | 3 sec | 5 min |

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

| | Performance Package | LED Count | Drive Current | Wattage | Current (A) | | | | | |
|--------------------------------------|---------------------|-----------|---------------|---------|-------------|------|------|------|------|------|
| | | | | | 120 | 208 | 240 | 277 | 347 | 480 |
| Forward Optics (Non-Rotated) | P1 | 30 | 530 | 54 | 0.45 | 0.26 | 0.23 | 0.19 | 0.10 | 0.12 |
| | P2 | 30 | 700 | 70 | 0.59 | 0.34 | 0.30 | 0.25 | 0.20 | 0.16 |
| | P3 | 30 | 1050 | 102 | 0.86 | 0.50 | 0.44 | 0.38 | 0.30 | 0.22 |
| | P4 | 30 | 1250 | 125 | 1.06 | 0.60 | 0.52 | 0.46 | 0.37 | 0.27 |
| | P5 | 30 | 1400 | 138 | 1.16 | 0.67 | 0.58 | 0.51 | 0.40 | 0.29 |
| | P6 | 40 | 1250 | 163 | 1.36 | 0.78 | 0.68 | 0.59 | 0.47 | 0.34 |
| | P7 | 40 | 1400 | 183 | 1.53 | 0.88 | 0.76 | 0.66 | 0.53 | 0.38 |
| | P8 | 60 | 1050 | 207 | 1.74 | 0.98 | 0.87 | 0.76 | 0.64 | 0.49 |
| | P9 | 60 | 1250 | 241 | 2.01 | 1.16 | 1.01 | 0.89 | 0.70 | 0.51 |
| Rotated Optics (Requires L90 or R90) | P10 | 60 | 530 | 106 | 0.90 | 0.52 | 0.47 | 0.43 | 0.33 | 0.27 |
| | P11 | 60 | 700 | 137 | 1.15 | 0.67 | 0.60 | 0.53 | 0.42 | 0.32 |
| | P12 | 60 | 1050 | 207 | 1.74 | 0.99 | 0.87 | 0.76 | 0.60 | 0.46 |
| | P13 | 60 | 1250 | 231 | 1.93 | 1.12 | 0.97 | 0.86 | 0.67 | 0.49 |

Controls Options

| Nomenclature | Description | Functionality | Primary control device | Notes |
|---------------|---|---|---|--|
| FAO | Field adjustable output device installed inside the luminaire; wired to the driver dimming leads. | Allows the luminaire to be manually dimmed, effectively trimming the light output. | FAO device | Cannot be used with other controls options that need the 0-10V leads |
| DS | Drivers wired independently for 50/50 luminaire operation | The luminaire is wired to two separate circuits, allowing for 50/50 operation. | Independently wired drivers | Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative. |
| PER5 or PER7 | Twist-lock photocell receptacle | Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals. | Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM. | Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire |
| PIR or PIRH | Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting | Luminaires dim when no occupancy is detected. | Acuity Controls SBGR | Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation. |
| NLTAIR2 PIRHN | nLight AIR enabled luminaire for motion sensing, photocell and wireless communication. | Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse. | nLight Air rSDGR | nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. |

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact factory for performance data on any configurations not shown here.

| Forward Optics | | | | | | | | | | | | | | | | | | | |
|----------------|---------------|---------------|--------------|------------|----------------------|----|------|-----|--------|----------------------|---|---|-----|--------|----------------------|---|---|-----|--------|
| LED Count | Drive Current | Power Package | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | |
| | | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW |
| 30 | 530 | P1 | 54W | T1S | 6,457 | 2 | 0 | 2 | 120 | 6,956 | 2 | 0 | 2 | 129 | 7,044 | 2 | 0 | 2 | 130 |
| | | | | T2S | 6,450 | 2 | 0 | 2 | 119 | 6,949 | 2 | 0 | 2 | 129 | 7,037 | 2 | 0 | 2 | 130 |
| | | | | T2M | 6,483 | 1 | 0 | 1 | 120 | 6,984 | 2 | 0 | 2 | 129 | 7,073 | 2 | 0 | 2 | 131 |
| | | | | T3S | 6,279 | 2 | 0 | 2 | 116 | 6,764 | 2 | 0 | 2 | 125 | 6,850 | 2 | 0 | 2 | 127 |
| | | | | T3M | 6,468 | 1 | 0 | 2 | 120 | 6,967 | 1 | 0 | 2 | 129 | 7,056 | 1 | 0 | 2 | 131 |
| | | | | T4M | 6,327 | 1 | 0 | 2 | 117 | 6,816 | 1 | 0 | 2 | 126 | 6,902 | 1 | 0 | 2 | 128 |
| | | | | TFTM | 6,464 | 1 | 0 | 2 | 120 | 6,963 | 1 | 0 | 2 | 129 | 7,051 | 1 | 0 | 2 | 131 |
| | | | | TSVS | 6,722 | 2 | 0 | 0 | 124 | 7,242 | 3 | 0 | 0 | 134 | 7,334 | 3 | 0 | 0 | 136 |
| | | | | TSS | 6,728 | 2 | 0 | 1 | 125 | 7,248 | 2 | 0 | 1 | 134 | 7,340 | 2 | 0 | 1 | 136 |
| | | | | TSM | 6,711 | 3 | 0 | 1 | 124 | 7,229 | 3 | 0 | 1 | 134 | 7,321 | 3 | 0 | 2 | 136 |
| | | | | TSW | 6,667 | 3 | 0 | 2 | 123 | 7,182 | 3 | 0 | 2 | 133 | 7,273 | 3 | 0 | 2 | 135 |
| | | | | BLC | 5,299 | 1 | 0 | 1 | 98 | 5,709 | 1 | 0 | 2 | 106 | 5,781 | 1 | 0 | 2 | 107 |
| | | | | LCCO | 3,943 | 1 | 0 | 2 | 73 | 4,248 | 1 | 0 | 2 | 79 | 4,302 | 1 | 0 | 2 | 80 |
| | | | | RCCO | 3,943 | 1 | 0 | 2 | 73 | 4,248 | 1 | 0 | 2 | 79 | 4,302 | 1 | 0 | 2 | 80 |
| | | | | 30 | 700 | P2 | 70W | T1S | 8,249 | 2 | 0 | 2 | 118 | 8,886 | 2 | 0 | 2 | 127 | 8,999 |
| T2S | 8,240 | 2 | 0 | | | | | 2 | 118 | 8,877 | 2 | 0 | 2 | 127 | 8,989 | 2 | 0 | 2 | 128 |
| T2M | 8,283 | 2 | 0 | | | | | 2 | 118 | 8,923 | 2 | 0 | 2 | 127 | 9,036 | 2 | 0 | 2 | 129 |
| T3S | 8,021 | 2 | 0 | | | | | 2 | 115 | 8,641 | 2 | 0 | 2 | 123 | 8,751 | 2 | 0 | 2 | 125 |
| T3M | 8,263 | 2 | 0 | | | | | 2 | 118 | 8,901 | 2 | 0 | 2 | 127 | 9,014 | 2 | 0 | 2 | 129 |
| T4M | 8,083 | 2 | 0 | | | | | 2 | 115 | 8,708 | 2 | 0 | 2 | 124 | 8,818 | 2 | 0 | 2 | 126 |
| TFTM | 8,257 | 2 | 0 | | | | | 2 | 118 | 8,896 | 2 | 0 | 2 | 127 | 9,008 | 2 | 0 | 2 | 129 |
| TSVS | 8,588 | 3 | 0 | | | | | 0 | 123 | 9,252 | 3 | 0 | 0 | 132 | 9,369 | 3 | 0 | 0 | 134 |
| TSS | 8,595 | 3 | 0 | | | | | 1 | 123 | 9,259 | 3 | 0 | 1 | 132 | 9,376 | 3 | 0 | 1 | 134 |
| TSM | 8,573 | 3 | 0 | | | | | 2 | 122 | 9,236 | 3 | 0 | 2 | 132 | 9,353 | 3 | 0 | 2 | 134 |
| TSW | 8,517 | 3 | 0 | | | | | 2 | 122 | 9,175 | 4 | 0 | 2 | 131 | 9,291 | 4 | 0 | 2 | 133 |
| BLC | 6,770 | 1 | 0 | | | | | 2 | 97 | 7,293 | 1 | 0 | 2 | 104 | 7,386 | 1 | 0 | 2 | 106 |
| LCCO | 5,038 | 1 | 0 | | | | | 2 | 72 | 5,427 | 1 | 0 | 2 | 78 | 5,496 | 1 | 0 | 2 | 79 |
| RCCO | 5,038 | 1 | 0 | | | | | 2 | 72 | 5,427 | 1 | 0 | 2 | 78 | 5,496 | 1 | 0 | 2 | 79 |
| 30 | 1050 | P3 | 102W | | | | | T1S | 11,661 | 2 | 0 | 2 | 114 | 12,562 | 3 | 0 | 3 | 123 | 12,721 |
| | | | | T2S | 11,648 | 2 | 0 | 2 | 114 | 12,548 | 3 | 0 | 3 | 123 | 12,707 | 3 | 0 | 3 | 125 |
| | | | | T2M | 11,708 | 2 | 0 | 2 | 115 | 12,613 | 2 | 0 | 2 | 124 | 12,773 | 2 | 0 | 2 | 125 |
| | | | | T3S | 11,339 | 2 | 0 | 2 | 111 | 12,215 | 3 | 0 | 3 | 120 | 12,370 | 3 | 0 | 3 | 121 |
| | | | | T3M | 11,680 | 2 | 0 | 2 | 115 | 12,582 | 2 | 0 | 2 | 123 | 12,742 | 2 | 0 | 2 | 125 |
| | | | | T4M | 11,426 | 2 | 0 | 3 | 112 | 12,309 | 2 | 0 | 3 | 121 | 12,465 | 2 | 0 | 3 | 122 |
| | | | | TFTM | 11,673 | 2 | 0 | 2 | 114 | 12,575 | 2 | 0 | 3 | 123 | 12,734 | 2 | 0 | 3 | 125 |
| | | | | TSVS | 12,140 | 3 | 0 | 1 | 119 | 13,078 | 3 | 0 | 1 | 128 | 13,244 | 3 | 0 | 1 | 130 |
| | | | | TSS | 12,150 | 3 | 0 | 1 | 119 | 13,089 | 3 | 0 | 1 | 128 | 13,254 | 3 | 0 | 1 | 130 |
| | | | | TSM | 12,119 | 4 | 0 | 2 | 119 | 13,056 | 4 | 0 | 2 | 128 | 13,221 | 4 | 0 | 2 | 130 |
| | | | | TSW | 12,040 | 4 | 0 | 3 | 118 | 12,970 | 4 | 0 | 3 | 127 | 13,134 | 4 | 0 | 3 | 129 |
| | | | | BLC | 9,570 | 1 | 0 | 2 | 94 | 10,310 | 1 | 0 | 2 | 101 | 10,440 | 1 | 0 | 2 | 102 |
| | | | | LCCO | 7,121 | 1 | 0 | 3 | 70 | 7,671 | 1 | 0 | 3 | 75 | 7,768 | 1 | 0 | 3 | 76 |
| | | | | RCCO | 7,121 | 1 | 0 | 3 | 70 | 7,671 | 1 | 0 | 3 | 75 | 7,768 | 1 | 0 | 3 | 76 |
| | | | | 30 | 1250 | P4 | 125W | T1S | 13,435 | 3 | 0 | 3 | 107 | 14,473 | 3 | 0 | 3 | 116 | 14,657 |
| T2S | 13,421 | 3 | 0 | | | | | 3 | 107 | 14,458 | 3 | 0 | 3 | 116 | 14,641 | 3 | 0 | 3 | 117 |
| T2M | 13,490 | 2 | 0 | | | | | 2 | 108 | 14,532 | 3 | 0 | 3 | 116 | 14,716 | 3 | 0 | 3 | 118 |
| T3S | 13,064 | 3 | 0 | | | | | 3 | 105 | 14,074 | 3 | 0 | 3 | 113 | 14,252 | 3 | 0 | 3 | 114 |
| T3M | 13,457 | 2 | 0 | | | | | 2 | 108 | 14,497 | 2 | 0 | 2 | 116 | 14,681 | 2 | 0 | 2 | 117 |
| T4M | 13,165 | 2 | 0 | | | | | 3 | 105 | 14,182 | 2 | 0 | 3 | 113 | 14,362 | 2 | 0 | 3 | 115 |
| TFTM | 13,449 | 2 | 0 | | | | | 3 | 108 | 14,488 | 2 | 0 | 3 | 116 | 14,672 | 2 | 0 | 3 | 117 |
| TSVS | 13,987 | 4 | 0 | | | | | 1 | 112 | 15,068 | 4 | 0 | 1 | 121 | 15,259 | 4 | 0 | 1 | 122 |
| TSS | 13,999 | 3 | 0 | | | | | 1 | 112 | 15,080 | 3 | 0 | 1 | 121 | 15,271 | 3 | 0 | 1 | 122 |
| TSM | 13,963 | 4 | 0 | | | | | 2 | 112 | 15,042 | 4 | 0 | 2 | 120 | 15,233 | 4 | 0 | 2 | 122 |
| TSW | 13,872 | 4 | 0 | | | | | 3 | 111 | 14,944 | 4 | 0 | 3 | 120 | 15,133 | 4 | 0 | 3 | 121 |
| BLC | 11,027 | 1 | 0 | | | | | 2 | 88 | 11,879 | 1 | 0 | 2 | 95 | 12,029 | 1 | 0 | 2 | 96 |
| LCCO | 8,205 | 1 | 0 | | | | | 3 | 66 | 8,839 | 1 | 0 | 3 | 71 | 8,951 | 1 | 0 | 3 | 72 |
| RCCO | 8,205 | 1 | 0 | | | | | 3 | 66 | 8,839 | 1 | 0 | 3 | 71 | 8,951 | 1 | 0 | 3 | 72 |
| 30 | 1400 | P5 | 138W | | | | | T1S | 14,679 | 3 | 0 | 3 | 106 | 15,814 | 3 | 0 | 3 | 115 | 16,014 |
| | | | | T2S | 14,664 | 3 | 0 | 3 | 106 | 15,797 | 3 | 0 | 3 | 114 | 15,997 | 3 | 0 | 3 | 116 |
| | | | | T2M | 14,739 | 3 | 0 | 3 | 107 | 15,878 | 3 | 0 | 3 | 115 | 16,079 | 3 | 0 | 3 | 117 |
| | | | | T3S | 14,274 | 3 | 0 | 3 | 103 | 15,377 | 3 | 0 | 3 | 111 | 15,572 | 3 | 0 | 3 | 113 |
| | | | | T3M | 14,704 | 2 | 0 | 3 | 107 | 15,840 | 3 | 0 | 3 | 115 | 16,040 | 3 | 0 | 3 | 116 |
| | | | | T4M | 14,384 | 2 | 0 | 3 | 104 | 15,496 | 3 | 0 | 3 | 112 | 15,692 | 3 | 0 | 3 | 114 |
| | | | | TFTM | 14,695 | 2 | 0 | 3 | 106 | 15,830 | 3 | 0 | 3 | 115 | 16,030 | 3 | 0 | 3 | 116 |
| | | | | TSVS | 15,283 | 4 | 0 | 1 | 111 | 16,464 | 4 | 0 | 1 | 119 | 16,672 | 4 | 0 | 1 | 121 |
| | | | | TSS | 15,295 | 3 | 0 | 1 | 111 | 16,477 | 4 | 0 | 1 | 119 | 16,686 | 4 | 0 | 1 | 121 |
| | | | | TSM | 15,257 | 4 | 0 | 2 | 111 | 16,435 | 4 | 0 | 2 | 119 | 16,644 | 4 | 0 | 2 | 121 |
| | | | | TSW | 15,157 | 4 | 0 | 3 | 110 | 16,328 | 4 | 0 | 3 | 118 | 16,534 | 4 | 0 | 3 | 120 |
| | | | | BLC | 12,048 | 1 | 0 | 2 | 87 | 12,979 | 1 | 0 | 2 | 94 | 13,143 | 1 | 0 | 2 | 95 |
| | | | | LCCO | 8,965 | 1 | 0 | 3 | 65 | 9,657 | 1 | 0 | 3 | 70 | 9,780 | 1 | 0 | 3 | 71 |
| | | | | RCCO | 8,965 | 1 | 0 | 3 | 65 | 9,657 | 1 | 0 | 3 | 70 | 9,780 | 1 | 0 | 3 | 71 |



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Forward Optics | | | | | | | | | | | | | | | | | | | | | | | |
|----------------|---------------|---------------|--------------|------------|----------------------|----|------|-----|--------|----------------------|---|---|-----|--------|----------------------|---|---|-----|--------|---|---|---|-----|
| LED Count | Drive Current | Power Package | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | | | | | |
| | | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | | | | |
| 40 | 1250 | P6 | 163W | T1S | 17,654 | 3 | 0 | 3 | 108 | 19,018 | 3 | 0 | 3 | 117 | 19,259 | 3 | 0 | 3 | 118 | | | | |
| | | | | T2S | 17,635 | 3 | 0 | 3 | 108 | 18,998 | 3 | 0 | 3 | 117 | 19,238 | 3 | 0 | 3 | 118 | | | | |
| | | | | T2M | 17,726 | 3 | 0 | 3 | 109 | 19,096 | 3 | 0 | 3 | 117 | 19,337 | 3 | 0 | 3 | 119 | | | | |
| | | | | T3S | 17,167 | 3 | 0 | 3 | 105 | 18,493 | 3 | 0 | 3 | 113 | 18,727 | 3 | 0 | 3 | 115 | | | | |
| | | | | T3M | 17,683 | 3 | 0 | 3 | 108 | 19,049 | 3 | 0 | 3 | 117 | 19,290 | 3 | 0 | 3 | 118 | | | | |
| | | | | T4M | 17,299 | 3 | 0 | 3 | 106 | 18,635 | 3 | 0 | 4 | 114 | 18,871 | 3 | 0 | 4 | 116 | | | | |
| | | | | TFTM | 17,672 | 3 | 0 | 3 | 108 | 19,038 | 3 | 0 | 4 | 117 | 19,279 | 3 | 0 | 4 | 118 | | | | |
| | | | | TSVS | 18,379 | 4 | 0 | 1 | 113 | 19,800 | 4 | 0 | 1 | 121 | 20,050 | 4 | 0 | 1 | 123 | | | | |
| | | | | T5S | 18,394 | 4 | 0 | 2 | 113 | 19,816 | 4 | 0 | 2 | 122 | 20,066 | 4 | 0 | 2 | 123 | | | | |
| | | | | T5M | 18,348 | 4 | 0 | 2 | 113 | 19,766 | 4 | 0 | 2 | 121 | 20,016 | 4 | 0 | 2 | 123 | | | | |
| | | | | T5W | 18,228 | 5 | 0 | 3 | 112 | 19,636 | 5 | 0 | 3 | 120 | 19,885 | 5 | 0 | 3 | 122 | | | | |
| | | | | BLC | 14,489 | 2 | 0 | 2 | 89 | 15,609 | 2 | 0 | 3 | 96 | 15,806 | 2 | 0 | 3 | 97 | | | | |
| | | | | LCCO | 10,781 | 1 | 0 | 3 | 66 | 11,614 | 1 | 0 | 3 | 71 | 11,761 | 2 | 0 | 3 | 72 | | | | |
| | | | | RCCO | 10,781 | 1 | 0 | 3 | 66 | 11,614 | 1 | 0 | 3 | 71 | 11,761 | 2 | 0 | 3 | 72 | | | | |
| | | | | 40 | 1400 | P7 | 183W | T1S | 19,227 | 3 | 0 | 3 | 105 | 20,712 | 3 | 0 | 3 | 113 | 20,975 | 3 | 0 | 3 | 115 |
| | | | | | | | | T2S | 19,206 | 3 | 0 | 3 | 105 | 20,690 | 3 | 0 | 3 | 113 | 20,952 | 3 | 0 | 3 | 114 |
| T2M | 19,305 | 3 | 0 | | | | | 3 | 105 | 20,797 | 3 | 0 | 3 | 114 | 21,060 | 3 | 0 | 3 | 115 | | | | |
| T3S | 18,696 | 3 | 0 | | | | | 3 | 102 | 20,141 | 3 | 0 | 3 | 110 | 20,396 | 3 | 0 | 4 | 111 | | | | |
| T3M | 19,258 | 3 | 0 | | | | | 3 | 105 | 20,746 | 3 | 0 | 3 | 113 | 21,009 | 3 | 0 | 3 | 115 | | | | |
| T4M | 18,840 | 3 | 0 | | | | | 4 | 103 | 20,296 | 3 | 0 | 4 | 111 | 20,553 | 3 | 0 | 4 | 112 | | | | |
| TFTM | 19,246 | 3 | 0 | | | | | 4 | 105 | 20,734 | 3 | 0 | 4 | 113 | 20,996 | 3 | 0 | 4 | 115 | | | | |
| TSVS | 20,017 | 4 | 0 | | | | | 1 | 109 | 21,564 | 4 | 0 | 1 | 118 | 21,837 | 4 | 0 | 1 | 119 | | | | |
| T5S | 20,033 | 4 | 0 | | | | | 2 | 109 | 21,581 | 4 | 0 | 2 | 118 | 21,854 | 4 | 0 | 2 | 119 | | | | |
| T5M | 19,983 | 4 | 0 | | | | | 2 | 109 | 21,527 | 5 | 0 | 3 | 118 | 21,799 | 5 | 0 | 3 | 119 | | | | |
| T5W | 19,852 | 5 | 0 | | | | | 3 | 108 | 21,386 | 5 | 0 | 3 | 117 | 21,656 | 5 | 0 | 3 | 118 | | | | |
| BLC | 15,780 | 2 | 0 | | | | | 3 | 86 | 16,999 | 2 | 0 | 3 | 93 | 17,214 | 2 | 0 | 3 | 94 | | | | |
| LCCO | 11,742 | 2 | 0 | | | | | 3 | 64 | 12,649 | 2 | 0 | 3 | 69 | 12,809 | 2 | 0 | 3 | 70 | | | | |
| RCCO | 11,742 | 2 | 0 | | | | | 3 | 64 | 12,649 | 2 | 0 | 3 | 69 | 12,809 | 2 | 0 | 3 | 70 | | | | |
| 60 | 1050 | P8 | 207W | | | | | T1S | 22,490 | 3 | 0 | 3 | 109 | 24,228 | 3 | 0 | 3 | 117 | 24,535 | 3 | 0 | 3 | 119 |
| | | | | | | | | T2S | 22,466 | 3 | 0 | 4 | 109 | 24,202 | 3 | 0 | 4 | 117 | 24,509 | 3 | 0 | 4 | 118 |
| | | | | T2M | 22,582 | 3 | 0 | 3 | 109 | 24,327 | 3 | 0 | 3 | 118 | 24,635 | 3 | 0 | 3 | 119 | | | | |
| | | | | T3S | 21,870 | 3 | 0 | 4 | 106 | 23,560 | 3 | 0 | 4 | 114 | 23,858 | 3 | 0 | 4 | 115 | | | | |
| | | | | T3M | 22,527 | 3 | 0 | 4 | 109 | 24,268 | 3 | 0 | 4 | 117 | 24,575 | 3 | 0 | 4 | 119 | | | | |
| | | | | T4M | 22,038 | 3 | 0 | 4 | 106 | 23,741 | 3 | 0 | 4 | 115 | 24,041 | 3 | 0 | 4 | 116 | | | | |
| | | | | TFTM | 22,513 | 3 | 0 | 4 | 109 | 24,253 | 3 | 0 | 4 | 117 | 24,560 | 3 | 0 | 4 | 119 | | | | |
| | | | | T5VS | 23,415 | 5 | 0 | 1 | 113 | 25,224 | 5 | 0 | 1 | 122 | 25,543 | 5 | 0 | 1 | 123 | | | | |
| | | | | T5S | 23,434 | 4 | 0 | 2 | 113 | 25,244 | 4 | 0 | 2 | 122 | 25,564 | 4 | 0 | 2 | 123 | | | | |
| | | | | T5M | 23,374 | 5 | 0 | 3 | 113 | 25,181 | 5 | 0 | 3 | 122 | 25,499 | 5 | 0 | 3 | 123 | | | | |
| | | | | T5W | 23,221 | 5 | 0 | 4 | 112 | 25,016 | 5 | 0 | 4 | 121 | 25,332 | 5 | 0 | 4 | 122 | | | | |
| | | | | BLC | 18,458 | 2 | 0 | 3 | 89 | 19,885 | 2 | 0 | 3 | 96 | 20,136 | 2 | 0 | 3 | 97 | | | | |
| | | | | LCCO | 13,735 | 2 | 0 | 3 | 66 | 14,796 | 2 | 0 | 4 | 71 | 14,983 | 2 | 0 | 4 | 72 | | | | |
| | | | | RCCO | 13,735 | 2 | 0 | 3 | 66 | 14,796 | 2 | 0 | 4 | 71 | 14,983 | 2 | 0 | 4 | 72 | | | | |
| | | | | 60 | 1250 | P9 | 241W | T1S | 25,575 | 3 | 0 | 3 | 106 | 27,551 | 3 | 0 | 3 | 114 | 27,900 | 3 | 0 | 3 | 116 |
| | | | | | | | | T2S | 25,548 | 3 | 0 | 4 | 106 | 27,522 | 3 | 0 | 4 | 114 | 27,871 | 3 | 0 | 4 | 116 |
| T2M | 25,680 | 3 | 0 | | | | | 3 | 107 | 27,664 | 3 | 0 | 3 | 115 | 28,014 | 3 | 0 | 3 | 116 | | | | |
| T3S | 24,870 | 3 | 0 | | | | | 4 | 103 | 26,791 | 3 | 0 | 4 | 111 | 27,130 | 3 | 0 | 4 | 113 | | | | |
| T3M | 25,617 | 3 | 0 | | | | | 4 | 106 | 27,597 | 3 | 0 | 4 | 115 | 27,946 | 3 | 0 | 4 | 116 | | | | |
| T4M | 25,061 | 3 | 0 | | | | | 4 | 104 | 26,997 | 3 | 0 | 4 | 112 | 27,339 | 3 | 0 | 4 | 113 | | | | |
| TFTM | 25,602 | 3 | 0 | | | | | 4 | 106 | 27,580 | 3 | 0 | 4 | 114 | 27,929 | 3 | 0 | 4 | 116 | | | | |
| TSVS | 26,626 | 5 | 0 | | | | | 1 | 110 | 28,684 | 5 | 0 | 1 | 119 | 29,047 | 5 | 0 | 1 | 121 | | | | |
| T5S | 26,648 | 4 | 0 | | | | | 2 | 111 | 28,707 | 5 | 0 | 2 | 119 | 29,070 | 5 | 0 | 2 | 121 | | | | |
| T5M | 26,581 | 5 | 0 | | | | | 3 | 110 | 28,635 | 5 | 0 | 3 | 119 | 28,997 | 5 | 0 | 3 | 120 | | | | |
| T5W | 26,406 | 5 | 0 | | | | | 4 | 110 | 28,447 | 5 | 0 | 4 | 118 | 28,807 | 5 | 0 | 4 | 120 | | | | |
| BLC | 20,990 | 2 | 0 | | | | | 3 | 87 | 22,612 | 2 | 0 | 3 | 94 | 22,898 | 2 | 0 | 3 | 95 | | | | |
| LCCO | 15,619 | 2 | 0 | | | | | 4 | 65 | 16,825 | 2 | 0 | 4 | 70 | 17,038 | 2 | 0 | 4 | 71 | | | | |
| RCCO | 15,619 | 2 | 0 | | | | | 4 | 65 | 16,825 | 2 | 0 | 4 | 70 | 17,038 | 2 | 0 | 4 | 71 | | | | |



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Rotated Optics | | | | | | | | | | | | | | | | | | | | | | | |
|----------------|---------------|---------------|--------------|------------|----------------------|-----|------|-----|--------|----------------------|---|---|-----|--------|----------------------|---|---|-----|--------|---|---|---|-----|
| LED Count | Drive Current | Power Package | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | | | | | |
| | | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | | | | |
| 60 | 530 | P10 | 106W | T1S | 13,042 | 3 | 0 | 3 | 123 | 14,050 | 3 | 0 | 3 | 133 | 14,228 | 3 | 0 | 3 | 134 | | | | |
| | | | | T2S | 12,967 | 4 | 0 | 4 | 122 | 13,969 | 4 | 0 | 4 | 132 | 14,146 | 4 | 0 | 4 | 133 | | | | |
| | | | | T2M | 13,201 | 3 | 0 | 3 | 125 | 14,221 | 3 | 0 | 3 | 134 | 14,401 | 3 | 0 | 3 | 136 | | | | |
| | | | | T3S | 12,766 | 4 | 0 | 4 | 120 | 13,752 | 4 | 0 | 4 | 130 | 13,926 | 4 | 0 | 4 | 131 | | | | |
| | | | | T3M | 13,193 | 4 | 0 | 4 | 124 | 14,213 | 4 | 0 | 4 | 134 | 14,393 | 4 | 0 | 4 | 136 | | | | |
| | | | | T4M | 12,944 | 4 | 0 | 4 | 122 | 13,945 | 4 | 0 | 4 | 132 | 14,121 | 4 | 0 | 4 | 133 | | | | |
| | | | | TFTM | 13,279 | 4 | 0 | 4 | 125 | 14,305 | 4 | 0 | 4 | 135 | 14,486 | 4 | 0 | 4 | 137 | | | | |
| | | | | TSVS | 13,372 | 3 | 0 | 1 | 126 | 14,405 | 4 | 0 | 1 | 136 | 14,588 | 4 | 0 | 1 | 138 | | | | |
| | | | | T5S | 13,260 | 3 | 0 | 1 | 125 | 14,284 | 3 | 0 | 1 | 135 | 14,465 | 3 | 0 | 1 | 136 | | | | |
| | | | | T5M | 13,256 | 4 | 0 | 2 | 125 | 14,281 | 4 | 0 | 2 | 135 | 14,462 | 4 | 0 | 2 | 136 | | | | |
| | | | | TSW | 13,137 | 4 | 0 | 3 | 124 | 14,153 | 4 | 0 | 3 | 134 | 14,332 | 4 | 0 | 3 | 135 | | | | |
| | | | | BLC | 10,906 | 3 | 0 | 3 | 103 | 11,749 | 3 | 0 | 3 | 111 | 11,898 | 3 | 0 | 3 | 112 | | | | |
| | | | | LCCO | 7,789 | 1 | 0 | 3 | 73 | 8,391 | 1 | 0 | 3 | 79 | 8,497 | 1 | 0 | 3 | 80 | | | | |
| | | | | RCCO | 7,779 | 4 | 0 | 4 | 73 | 8,380 | 4 | 0 | 4 | 79 | 8,486 | 4 | 0 | 4 | 80 | | | | |
| | | | | 60 | 700 | P11 | 137W | T1S | 16,556 | 3 | 0 | 3 | 121 | 17,835 | 3 | 0 | 3 | 130 | 18,061 | 4 | 0 | 4 | 132 |
| | | | | | | | | T2S | 16,461 | 4 | 0 | 4 | 120 | 17,733 | 4 | 0 | 4 | 129 | 17,957 | 4 | 0 | 4 | 131 |
| T2M | 16,758 | 4 | 0 | | | | | 4 | 122 | 18,053 | 4 | 0 | 4 | 132 | 18,281 | 4 | 0 | 4 | 133 | | | | |
| T3S | 16,205 | 4 | 0 | | | | | 4 | 118 | 17,457 | 4 | 0 | 4 | 127 | 17,678 | 4 | 0 | 4 | 129 | | | | |
| T3M | 16,748 | 4 | 0 | | | | | 4 | 122 | 18,042 | 4 | 0 | 4 | 132 | 18,271 | 4 | 0 | 4 | 133 | | | | |
| T4M | 16,432 | 4 | 0 | | | | | 4 | 120 | 17,702 | 4 | 0 | 4 | 129 | 17,926 | 4 | 0 | 4 | 131 | | | | |
| TFTM | 16,857 | 4 | 0 | | | | | 4 | 123 | 18,159 | 4 | 0 | 4 | 133 | 18,389 | 4 | 0 | 4 | 134 | | | | |
| TSVS | 16,975 | 4 | 0 | | | | | 1 | 124 | 18,287 | 4 | 0 | 1 | 133 | 18,518 | 4 | 0 | 1 | 135 | | | | |
| T5S | 16,832 | 4 | 0 | | | | | 1 | 123 | 18,133 | 4 | 0 | 2 | 132 | 18,362 | 4 | 0 | 2 | 134 | | | | |
| T5M | 16,828 | 4 | 0 | | | | | 2 | 123 | 18,128 | 4 | 0 | 2 | 132 | 18,358 | 4 | 0 | 2 | 134 | | | | |
| TSW | 16,677 | 4 | 0 | | | | | 3 | 122 | 17,966 | 5 | 0 | 3 | 131 | 18,193 | 5 | 0 | 3 | 133 | | | | |
| BLC | 13,845 | 3 | 0 | | | | | 3 | 101 | 14,915 | 3 | 0 | 3 | 109 | 15,103 | 3 | 0 | 3 | 110 | | | | |
| LCCO | 9,888 | 1 | 0 | | | | | 3 | 72 | 10,652 | 2 | 0 | 3 | 78 | 10,787 | 2 | 0 | 3 | 79 | | | | |
| RCCO | 9,875 | 4 | 0 | | | | | 4 | 72 | 10,638 | 4 | 0 | 4 | 78 | 10,773 | 4 | 0 | 4 | 79 | | | | |
| 60 | 1050 | P12 | 207W | | | | | T1S | 22,996 | 4 | 0 | 4 | 111 | 24,773 | 4 | 0 | 4 | 120 | 25,087 | 4 | 0 | 4 | 121 |
| | | | | | | | | T2S | 22,864 | 4 | 0 | 4 | 110 | 24,631 | 5 | 0 | 5 | 119 | 24,943 | 5 | 0 | 5 | 120 |
| | | | | T2M | 23,277 | 4 | 0 | 4 | 112 | 25,075 | 4 | 0 | 4 | 121 | 25,393 | 4 | 0 | 4 | 123 | | | | |
| | | | | T3S | 22,509 | 4 | 0 | 4 | 109 | 24,248 | 5 | 0 | 5 | 117 | 24,555 | 5 | 0 | 5 | 119 | | | | |
| | | | | T3M | 23,263 | 4 | 0 | 4 | 112 | 25,061 | 4 | 0 | 4 | 121 | 25,378 | 4 | 0 | 4 | 123 | | | | |
| | | | | T4M | 22,824 | 5 | 0 | 5 | 110 | 24,588 | 5 | 0 | 5 | 119 | 24,899 | 5 | 0 | 5 | 120 | | | | |
| | | | | TFTM | 23,414 | 5 | 0 | 5 | 113 | 25,223 | 5 | 0 | 5 | 122 | 25,543 | 5 | 0 | 5 | 123 | | | | |
| | | | | TSVS | 23,579 | 5 | 0 | 1 | 114 | 25,401 | 5 | 0 | 1 | 123 | 25,722 | 5 | 0 | 1 | 124 | | | | |
| | | | | T5S | 23,380 | 4 | 0 | 2 | 113 | 25,187 | 4 | 0 | 2 | 122 | 25,506 | 4 | 0 | 2 | 123 | | | | |
| | | | | T5M | 23,374 | 5 | 0 | 3 | 113 | 25,181 | 5 | 0 | 3 | 122 | 25,499 | 5 | 0 | 3 | 123 | | | | |
| | | | | TSW | 23,165 | 5 | 0 | 4 | 112 | 24,955 | 5 | 0 | 4 | 121 | 25,271 | 5 | 0 | 4 | 122 | | | | |
| | | | | BLC | 19,231 | 4 | 0 | 4 | 93 | 20,717 | 4 | 0 | 4 | 100 | 20,979 | 4 | 0 | 4 | 101 | | | | |
| | | | | LCCO | 13,734 | 2 | 0 | 3 | 66 | 14,796 | 2 | 0 | 4 | 71 | 14,983 | 2 | 0 | 4 | 72 | | | | |
| | | | | RCCO | 13,716 | 4 | 0 | 4 | 66 | 14,776 | 4 | 0 | 4 | 71 | 14,963 | 4 | 0 | 4 | 72 | | | | |
| | | | | 60 | 1250 | P13 | 231W | T1S | 25,400 | 4 | 0 | 4 | 110 | 27,363 | 4 | 0 | 4 | 118 | 27,709 | 4 | 0 | 4 | 120 |
| | | | | | | | | T2S | 25,254 | 5 | 0 | 5 | 109 | 27,205 | 5 | 0 | 5 | 118 | 27,550 | 5 | 0 | 5 | 119 |
| T2M | 25,710 | 4 | 0 | | | | | 4 | 111 | 27,696 | 4 | 0 | 4 | 120 | 28,047 | 4 | 0 | 4 | 121 | | | | |
| T3S | 24,862 | 5 | 0 | | | | | 5 | 108 | 26,783 | 5 | 0 | 5 | 116 | 27,122 | 5 | 0 | 5 | 117 | | | | |
| T3M | 25,695 | 5 | 0 | | | | | 5 | 111 | 27,680 | 5 | 0 | 5 | 120 | 28,031 | 5 | 0 | 5 | 121 | | | | |
| T4M | 25,210 | 5 | 0 | | | | | 5 | 109 | 27,158 | 5 | 0 | 5 | 118 | 27,502 | 5 | 0 | 5 | 119 | | | | |
| TFTM | 25,861 | 5 | 0 | | | | | 5 | 112 | 27,860 | 5 | 0 | 5 | 121 | 28,212 | 5 | 0 | 5 | 122 | | | | |
| TSVS | 26,043 | 5 | 0 | | | | | 1 | 113 | 28,056 | 5 | 0 | 1 | 121 | 28,411 | 5 | 0 | 1 | 123 | | | | |
| T5S | 25,824 | 4 | 0 | | | | | 2 | 112 | 27,819 | 5 | 0 | 2 | 120 | 28,172 | 5 | 0 | 2 | 122 | | | | |
| T5M | 25,818 | 5 | 0 | | | | | 3 | 112 | 27,813 | 5 | 0 | 3 | 120 | 28,165 | 5 | 0 | 3 | 122 | | | | |
| TSW | 25,586 | 5 | 0 | | | | | 4 | 111 | 27,563 | 5 | 0 | 4 | 119 | 27,912 | 5 | 0 | 4 | 121 | | | | |
| BLC | 21,241 | 4 | 0 | | | | | 4 | 92 | 22,882 | 4 | 0 | 4 | 99 | 23,172 | 4 | 0 | 4 | 100 | | | | |
| LCCO | 15,170 | 2 | 0 | | | | | 4 | 66 | 16,342 | 2 | 0 | 4 | 71 | 16,549 | 2 | 0 | 4 | 72 | | | | |
| RCCO | 15,150 | 5 | 0 | | | | | 5 | 66 | 16,321 | 5 | 0 | 5 | 71 | 16,527 | 5 | 0 | 5 | 72 | | | | |

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft³) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product.

Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

